



## ENGINEER'S REPORT

(Drainage Act, RSO 1990, c. D.17)

**PROJECT**

**7th Concession Drain**

Replacement Bridge for Richard & Donna Valenciuk,  
(460-00701 & 460-00702),  
Part of Lot 1, Concession 6  
(Geographic Township of Gosfield North)  
Town of Kingsville, County of Essex

**Project No. D22-067**

July 19, 2024

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## PREAMBLE

### **MUNICIPAL DRAINS AND THE DRAINAGE ACT**

The "Drainage Act" is one of the oldest pieces of legislation in Ontario, passed in 1859. It provides a democratic procedure for the construction, improvement and maintenance of drainage works. A procedure whereby the Municipality may assist in providing a legal drainage outlet for surface and subsurface waters not attainable under common law. Accordingly, provides much-needed assistance to facilitate the problems of obtaining a legal drainage outlet, engineering and cost distribution.

The Drainage Act provides a legal procedure by which an "area requiring drainage" may receive an outlet drain constructed to dispose of excess stormwater runoff to a sufficient outlet. This drainage infrastructure is otherwise known as a "Municipal Drain". Municipal Drains are identified by Municipal By-Law that adopts an Engineer's Report. The drainage engineer has the obligation to prepare an unbiased Engineer's Report based on information presented in written form, orally, and from visual inspection; in accordance with currently accepted design criteria. These reports form the legal basis for construction and management of the Municipal Drain. As such, an Engineer's Report shall contain specific details such as plans, profiles, and specifications that define the location, size and depth of the drainage infrastructure, together with establishing how costs are shared amongst all stakeholders.

Through the democratic procedure, the Engineer's Report is presented to all Stakeholders in front of Municipal Council (or a Drainage Board appointed by Council) for consideration. The Drainage Act provides an appeal process to address various aspects of Municipal Drains. These appeal bodies are the Court of Revision, the Ontario Drainage Tribunal and the Drainage Referee.

For additional information, Fact Sheets, and reference materials regarding the Drainage Act and Municipal Drains, please visit: <http://www.omafra.gov.on.ca/english/landuse/drainage.htm>

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**Mayor and Municipal Council**

Corporation of the Town of Kingsville  
2021 Division Road North  
Kingsville, Ontario N9Y 2Y9

**I. INTRODUCTION**

In accordance with the instructions received by email dated September 6, 2022, from the Town of Kingsville's Drainage Department, we have completed the necessary survey, examinations, investigations, etc. and have prepared the following report to provide for the replacement of an existing access bridge within the 7th Concession Drain for the agricultural and residential lands of Richard & Donna Valenciuk (460-00701 & 460-00702). In addition to the bridge replacement, this report shall also include the variation of the assessments on the 7th Concession Drain, so that the cost of any future maintenance works to the 7th Concession Drain may be fairly assessed. These investigations were initiated by a resolution passed by Council, for our firm to undertake the preparation of an Engineer's Report for the works within this Municipal Drain, and in accordance with provisions of the Drainage Act. The 7th Concession Drain is generally an open drain with a number of access bridges, which were constructed under the auspices of the Drainage Act. A plan showing the alignment of the 7th Concession Drain, the general location of the subject access bridge, and the affected lands within the general watershed, together with the details related to the general improvements under this project, are included herein as part of this report.

Our appointment and the works relative to the 7th Concession Drain proposed under this report, are being conducted in accordance with Section 78 of the "Drainage Act, RSO 1990, Chapter D.17, as amended in 2021". We have performed all of the necessary surveys, investigations, etc., for the existing and proposed bridges, as well as the 7th Concession Drain, and we report thereon as follows.

**II. BACKGROUND AND REQUEST FOR EMERGENCY DESIGNATION**

In May of 2022, the Town of Kingsville received a request to investigate the condition of an existing access structure over the 7th Concession Drain for the lands currently owned by Richard & Donna Valenciuk (460-00701 & 460-00702). The existing open span crossing consisted of concrete abutments embedded into the banks of the existing drain, together with five (5) steel I-Beam supports and a concrete deck. Upon review

of the structure, it was evident that the steel I-Beams had previously been reinforced on the roadside of the structure. In reviewing the structure's condition, it was found that the existing steel I-Beam supports at the downstream end of the structure had rotted to the point in which it had become perforated. In addition to the perforation of the steel, the I-Beam located at the extreme limit of the structure demonstrated early signs of failure. As a result, it was evident that this access structure had reached the end of its serviceable lifespan.

With the structure showing early signs of failure, the Town of Kingsville had concerns that the approval and implementation of these drainage improvements through the Drainage Act process would not be able to proceed in a timely manner. If the process became halted and/or delayed, the Town recognized that the potential risk of further damages or total failure would have major implications to all affected parties. As a result, the Town of Kingsville felt that it would be prudent to request authorization from the Minister of Agriculture, Food and Rural Affairs (OMAFRA) for "Emergency Designation" to proceed with the construction of the access bridge replacement, prior to adopting the Engineer's Report. This request is pursuant to Section 124 of the Drainage Act and was submitted to the Minister on June 22<sup>nd</sup>, 2022.

On July 19<sup>th</sup>, 2022, the Town of Kingsville received a response from the Minister of Agriculture, Food and Rural Affairs. The response noted that the existing driveway is still being used by light vehicle traffic with traffic cones placed over the downstream end of the structure. The response outlined the insufficient timelines for authorizing the work using normal drain construction procedures under the Drainage Act. Based on the current situation, the Minister deemed that this project qualifies for "Emergency Designation" on the condition that the crossing is replaced under the supervision of the Engineer appointed under the Drainage Act and that the property owners be given the opportunity to appeal their share of the project costs to the appeal bodies established under the Drainage Act.

### **III. DRAINAGE HISTORY**

From our review of the Municipality's files, we have determined that the 7th Concession Drain is an existing open municipal drainage system that has been repaired and improved on a number of previous occasions through the auspicious of the Drainage Act. The 7th Concession Drain is generally an open drain extending downstream from the northeast side of South Talbot Road and further along the north side of the full length of Road 7 West/County Road 27. This Municipal Drain continues southerly along the east side of County Road 23 (Arner Townline Road), where the open channel crosses the road, to its outlet into the Snyder Branch Drain within the Town of Essex, and eventually to the Canard River. The 7th Concession Drain has a total length of approximately 6.90 kilometres and provides a sufficient outlet for a mixture of agricultural and residential lands extending along the course of the Municipal Drain and collects from tributary drains extending into the Community of Cottam.

From our review, we have found various Engineer's Reports prepared through the provisions of the Drainage Act for this Municipal Drain dating back to 1897. However, we have outlined the following relevant Engineer's Reports that we utilized as a reference for carrying out this project:

- a) **September 4, 1940**, Engineer's Report for the "7th Concession Drain and Snyder Branch Drain", prepared by C.B. Allison, O.L.S., was carried out under the Township of Gosfield North Drainage By-law No. 250. The works conducted under this report generally provided for the repair and

general improvements to the associated Municipal Drains. These works included the repair, deepening, and widening of the 7th Concession Drain from its top end at South Talbot Road, downstream and including the Snyder Branch Drain located within the Town of Essex.

This report clearly identifies the 7th Concession Drain extending from its top end at South Talbot Road and continuously extending downstream along Road 7 West and County Road 27 (Cottam Sideroad), and further extending south along County Road 23 (Arner Townline).

b) **October 18, 1957**, Engineer's Report for the "7th Concession Drain, Snyder Branch and Part of Old 47 Drain", prepared by Wm. Colby, P.Eng., was carried out under the Township of Gosfield North Drainage By-law No. 343. The works conducted under this report generally provided for the repair and general improvements to the associated Municipal Drains. These works included the cleaning and deepening of the 7th Concession Drain from its top end along South Talbot Road to the McCain Sideroad, together with a portion of the Old No. 47 Drain (currently known as the Centre Branch of the No. 47 Drain) from County Road 27 West southerly to Road 6 West.

Although this report focuses on improvements to the upper end of the 7th Concession Drain, this report is relevant to the watershed contributions to the subject access bridge. Based on the details of this report, these improvements created a cross-connection between the Canard River watershed and the Wigle Creek watershed, where the lands upstream of the McCain Sideroad contribute to both watersheds.

c) **November 15, 1967**, Engineer's Report (Reconsidered) for the "7th Concession Drain, Snyder Branch and Part of Old 47 Drain", prepared by Wm. Colby, P.Eng., was carried out under the Township of Gosfield North Drainage By-law No. 453. The works conducted under this report generally provided for the repair and general improvements to the associated Municipal Drains. These works included the cleaning and deepening of the entire length of the associated drains, together with several access structure repairs.

Further to the 1940 and 1957 Reports, this report confirms the divergence of runoff flows at the intersection of County Road 27 (Cottam Sideroad) and the McCain Sideroad. As a result, confirming that runoff water contributing from the lands east of the McCain Sideroad contributes to both the Canard River watershed and the Wigle Creek watershed. It shall further be noted that this report identified the necessary repairs to various access bridges within the drain. The adopted report did not specifically identify any of these structures. However, it is understood that the subject concrete span bridge exists within this drain at this time as the original report, subsequently reconsidered, implying provisions for improvements to the subject access bridge as part of the drain relocation plans along County Road 23 (Arner Townline Road), originally slated to be completed as part of the original scope of the project.

d) **October 10, 1996** Letter for the "Bridge Repair for Rick Valenciuk Over the 7th Concession Drain", prepared by L. Zarlenga, P.Eng. This letter specifically addresses concerns related to the subject access bridge and recommends that the repairs to this structure be completed under maintenance, through the Drainage Act provisions. The recommended works included the reinforcement of the existing steel I-Beams supports.

With these works conducted through the maintenance process, all associated costs related to these works were shared with all upstream lands and roads contributing flows through the access bridge structure.

Based on our detailed research of the 7th Concession Drain drainage records, we have determined that generally speaking, the 1967 Report serves as the current governing By-law for the design parameters of the 7th Concession Drain, through the subject access structure location. Based on the drainage records and the history of the subject access structure, we find that this structure is considered to be a legal structure with respect to the 7th Concession Drain. As a result, this structure is currently eligible to have the costs for their replacement and/or improvements shared with all lands and roads within the drain's watershed contributing their runoff into the drain, upstream of said structure.

#### **IV. PRELIMINARY INVESTIGATIONS AND ON-SITE MEETING**

After reviewing all the available drainage information and documentation provided by the Drainage Superintendent, we arranged to schedule an On-Site Meeting for September 23, 2022. The following people attended this meeting:

Name	Affiliation
Larry Newport	Landowner – 165 County Road 34 West
David Shuttleworth	Landowner – 103 King Avenue
Larry Merritt	Landowner – 57 Road 7 West
Bill Hodgins	Landowner – 131 County Road 34 West
William & Cheryl Carmichael	Landowner – 118 County Road 34 East
Milton Hillier	Landowner – 500 Road 6 West
Dale & Betty Anne Steed	Landowner – 328 County Road 27 West
Don Ferguson & Diane Maslin	Landowner
Corinne Molle	Landowner – 303 County Road 27 West
Rick Valenciuk	Landowner – 3486 County Road 23
Gerald Pillon	Landowner – 228 County Road 34 East
Ken Vegh	Kingsville (Former) Drainage Superintendent
Mark Fishleigh	County of Essex
Tony Peralta, P.Eng.	N.J. Peralta Engineering Ltd.

At the onset of this meeting, Ken Vegh made introductions and advised of the written notice submitted by Richard & Donna Valenciuk (460-00701 & 460-00702) for the replacement of an existing access structure within the Municipal Drain, known as the 7th Concession Drain. Mr. Peralta elaborated on "What is a Municipal Drain", the general responsibilities of the stakeholders through the provisions of the Drainage Act, and the general requirements for initiating repair and improvement to a Municipal Drain. Mr. Peralta further identified that those invited to this meeting form part of the drain's watershed and likely contribute runoff from their property through the subject structure.

Mr. Peralta further elaborated on the reasons for the request to replace the existing access structure. After further examination, it was evident that the existing steel I-Beams supporting the concrete deck were rotted through and the overall structure was in poor condition. Mr. Peralta further explained that under normal circumstances, an Engineer's Report would be prepared and presented to all affected landowners for adoption under the Municipal By-Law, before initiating the construction of the replacement access bridge.

However, with the structure in immediate need of repair, an application to the Ontario Ministry of Agriculture, Food, and Rural Affairs (OMAFRA) was submitted and subsequently approved for Emergency Designation status. This allows for the construction of the replacement structure before proceeding with the By-Law creation process. In light of the Emergency Designation status, this process will not negate the affected landowners' rights to appeal any assessments levied on their property. However, the report creation and By-Law acceptance process will be completed once the replacement bridge structure has been installed.

The landowners present were advised that the minimum standard top width of the driveway is 6.10 metres (20.00 ft.). They were further advised that if this access bridge is considered a legal entity within this drain, the replacement of this access bridge would be subject to cost sharing with upstream lands and roads. Furthermore, if the Owner wishes to provide a top width wider than the standard 6.10 metres (20.00 ft.), the additional cost for providing a wider top width shall be assessed 100% to the abutting Owner. We further established that the final design may be governed by the requirements of the Department of Fisheries and Oceans (DFO), the Essex Region Conservation Authority (ERCA), the Ministry of Natural Resources and Forestry (MNRF) and the Ministry of Environment, Conservation and Parks (MECP).

Cost sharing of the bridge replacement was discussed. Mr. Peralta indicated that the previous By-Laws on this drain, do not specifically refer to the subject bridge. However, supporting historical documentation clearly identifies that the subject access bridge has previously been considered a legal entity within the 7th Concession Drain and the subject access structure was repaired through the provisions of the Drainage Act. Based on the historical information, Mr. Peralta indicated that it was his opinion that the bridge is considered a legal part of the drain. Therefore, the costs of its replacement may be eligible for sharing with the upstream lands and roads. The proportion of cost sharing for the bridge will be established within the Engineer's Report based on the location of the said bridge relative to the reach of the drain. Mr. Peralta added that the Owner of the bridge will pay a certain percentage of the total cost for the bridge, and all of the upstream lands that contribute their runoff through the structure will share the remainder of the cost. Mr. Peralta also discussed that agricultural grants from the Ontario Ministry of Agriculture, Food, and Rural Affairs (OMAFRA) are likely available to eligible farm properties assessed under this project.

Mr. Peralta identified the current governing By-Laws for the 7th Concession Drain. Based on the available information, there appears to be discrepancies within the current watershed of this Municipal Drain. It was suggested that since the watershed is being reviewed for the purpose of cost-sharing for the subject access bridge located near the outlet of the drain, it may be advantageous to prepare an updated maintenance schedule to fairly distribute the costs of future maintenance works on the entire drain. Based on a show of hands of the meeting participants, the consensus was to consider including future maintenance schedules as part of the project.

Based on the size of the existing drain and the current style of the bridge structure, landowners questioned what type of bridge structure would be specified for its replacement. The landowners were advised that the Engineer was currently evaluating potential replacement options. However, based on preliminary sizing calculations, the structure could encompass a large steel span structure or a concrete box culvert. Ultimately, the Engineer will be looking to implement the most cost-effective structure option.

Some landowners in attendance provided additional questions and comments related to individual properties that contribute to the drainage system. With the project in its early stages, the landowners were

advised that further watershed investigations were required as part of the process and these details will be captured within the Engineer's Report to be presented to Council for consideration.

The overall drainage report and future maintenance processes, general timelines, and grant eligibility were generally reviewed with the landowners. It was further outlined that it would be likely that the works in this drain were not to be undertaken between March 15 and July 15, of any given year, unless otherwise permitted by DFO, ERCA, MNRF, and the MECP.

At the conclusion of our discussions, the landowners were reminded that the replacement bridge construction would commence prior to the report preparation and the Engineer's Report shall follow. In the meantime, business cards were handed out and if the landowners had any questions, comments, or concerns, they should feel free to contact Mr. Vegh or Mr. Peralta.

On this note, the On-Site Meeting had concluded.

## **V. FIELD SURVEY AND INVESTIGATIONS**

Following the receipt of the Emergency Designation issued by the OMAFRA, we arranged for our Survey Crew to attend the site to perform a topographic survey, including taking all necessary levels and details of the 7th Concession Drain related to the proposed access bridge. Benchmarks were established from previous work carried out on the drain and were utilized in establishing a relative site benchmark near the location of the access bridge site. We also surveyed the drain for a considerable distance both upstream and downstream of the existing access bridge sites to establish a design grade profile for the new bridge installation. We also took cross-sections of the 7th Concession Drain at the general location of the access bridge sites, as necessary, for us to complete our design calculations, estimates and specifications.

The Ministry of Environment, Conservation and Parks (MECP) currently regulates the Endangered Species Act, 2007. New regulation provisions under Ontario Regulation 242/08, Section 23.9 allow the Municipality to conduct repairs, maintenance, and improvements, within existing Municipal Drains, under the Drainage Act and these works are exempt from Sections 9 and 10 of the Endangered Species Act, so long as the rules in the regulation are followed. If eligible, the regulatory provision allows Municipalities to give notice to the Ministry by registering their drainage activities through an online registry system.

For the purpose of establishing the watershed area upstream of the proposed access bridge, and determining the structure size required for this application, we investigated and reviewed the past Engineer's Reports on the 7th Concession Drain, specifically the governing 1967 and subsequent reports, as they pertain to the watershed contributing to this access bridge. In addition, we utilized current LiDAR information to cross-check the watershed limits upstream of the access bridge being replaced, and we also cross-checked watershed limits for other Municipal Drain By-Laws in the vicinity of the 7th Concession Drain. All of the above investigations not only provided us with the correct watershed area affecting the size of the subject access bridges but also provided us with accurate information to assist us with the preparation of our Construction and Maintenance Schedules of Assessment for this project.

## **VI. INITIAL REVIEW, HYDRAULIC ANALYSIS, AND STRUCTURE SELECTION**

Once we had established a general scope of work on this project, our office engaged in correspondence with the ERCA to provide general details of the project and to address any comments and/or concerns that they would have as it relates to the established scope of work. The ERCA had provided their initial comments outlining their general requirements for the replacement of clear span structures. They identify that the Engineer must demonstrate that the replacement structure shall have an equivalent level of service to the existing structure. The Engineers shall also demonstrate and/or justify that no adverse flood impacts are caused by the replacement structure. The ERCA also refers the Engineer to "A Guide for Engineers Working Under the Drainage Act in Ontario" - OMAFRA Publication 852 (2018), as the current reference documentation used by Engineers carrying out work on Municipal Drains through provisions of the Drainage Act. When replacing clear span structures within Municipal Drains, ERCA specifically regulates the 1:100-year return period as the level of service for major storm events.

The 7th Concession Drain serves as a primary drainage conduit for a significant watershed and serves as a tributary of the Canard River. Based on the design requirements and the potential impacts to the drainage system, our office determined that it would be prudent to conduct an in-depth hydraulic analysis for the sizing of the replacement access bridge structure. The intent of this exercise was to fully understand how the existing and proposed structures would affect the theoretical flood elevations of this Municipal Drain, relative to the 1:100 year storm event. This model would also help establish an appropriate culvert size for the structure intended to be replaced under this project. Based on the results of the model, it was determined that more economical alternative materials and opening sizes could ultimately be utilized while maintaining the existing theoretical 1:100-year storm event flood elevations of the 7th Concession Drain. We concluded that the most feasible replacement structures suitable to meet the specified requirements would be open-span steel-plated bridge or concrete box culvert structures. With an understanding of the appropriate structure options, we then proceeded with the detailed design phase of the project, which included cost estimates for the structure materials and installation.

As we continued with the cost estimations, we saw a spike in construction material and labour costs in 2022, creating uncertainty in construction price estimations. Historically, steel bridge products have been the more cost-effective solution over concrete products. However, at the time of this project, the cost of steel increased significantly. Through this process, we recognized that there are cost implications associated with the replacement of this structure. With the overall cost of this project ultimately being shared with the bridge user and all upstream lands and roads, together with the variability of construction materials and labour, there was uncertainty in determining the most cost-effective solution for this application. In an effort to reduce the overall costs of the project, we found that it would be prudent to design and tender this project having both material options (open-span steel-plated bridge and concrete box culvert structures) with the intent to choose the lowest available option.

## **VII. FINDINGS AND RECOMMENDATIONS**

Based on our topographic survey, detailed investigations, information derived from the On-Site Meeting and subsequent discussions and review with the affected landowner, together with the review and correspondence with the ERCA and other environmental government agencies; we have proceeded to

establish the required details to adequately address the specified improvements within the 7th Concession Drain. Our findings and recommendations are outlined in the following paragraphs.

### **ERCA, DFO, and MECP Considerations**

During the course of our investigations, this drainage project was discussed and reviewed in detail with Ms. Ashley Gyori, of the ERCA, to deal with any of the ERCA concerns and comments related to this Municipal Drain. The 7th Concession Drain is located within the regulated area and is under the jurisdiction of the ERCA. Therefore, an ERCA Permit is required for the construction and/or improvements of the proposed access bridge structure. The results of our hydraulic analysis, together with our design proposals, were submitted to the ERCA for review. On March 9th, 2023, we received the ERCA's general acceptance of our design proposal. Further to the above, the ERCA provided us with their comments and concerns through email correspondence, and said correspondence is included herein as **Appendix "A"**.

With respect to the Department of Fisheries and Oceans (DFO) concerns and comments, the proposed works within this Municipal Drain were "self-assessed" by the Engineer, through the DFO website and the utilization of the "Guidance for Maintaining and Repairing Municipal Drains in Ontario" to determine whether this project shall be reviewed by the DFO. The section of the 7th Concession Drain where the access bridge will be installed has been established as Class 'F' by the DFO. Based on the DFO Self-Assessment website and the guidance document, we have determined that the project activities would not require a DFO review for the works proposed under this project, so long as standard measures for fish habitat and migration are implemented.

The Ministry of Natural Resources and Forestry (MNRF) has transitioned the responsibilities of the Species at Risk Provincial Legislation to the Ministry of Environment, Conservation and Parks (MECP). Section 23.9 of the Endangered Species Act, 2007 allows the Municipality to conduct eligible repair, maintenance, and improvement work under the Drainage Act that exempts these works from Sections 9 and 10 of this Act, so long as they follow the rules within Ontario Regulation 242/08. In recognition of the impacts that these species may experience as a result of the subject works, the Town of Kingsville shall provide comprehensive mitigation measures as well as species identification guides for reference. These references shall be provided to the successful Tenderer and shall be available for viewing at the Municipal Office for those interested.

Through correspondence with ERCA, self-assessment through DFO, and the mitigation measures through the Endangered Species Act, we have provided for all of the ERCA, DFO, and MECP concerns and issues in our design and recommend that these drainage works be constructed in total compliance with all of the above.

### **Replacement Access Bridge Details**

Prior to finalizing the details of the bridge replacement structure, we had discussions with Mr. Rick Valenciuk to review the particulars of the access bridge in detail. As part of the bridge details, we further reviewed the potential associated costs. Through our discussions, it was established that they would require a minimum driveway top width of 6.10 metres (20.00 ft.). Based on these details, Mr. Valenciuk was advised that we have determined within our preliminary design that the new access bridge would require either an open-span steel-plate bridge or a concrete box culvert providing a similar level of service to that of the existing

bridge structure. He was advised that both structures shall form part of the tendering process and the project will proceed with the lowest tendered option, with the best lead time for installation.

As part of the tender process, we received multiple bids from various contractors. Based on the results of the tender process, it was determined that the concrete box culvert would result in the most cost-effective option. As a result, the existing access bridge structure shall be replaced with approximately 8.00 metres of 3600mm x 1800mm, reinforced concrete box culvert with a vertical interlocking concrete block headwall system. The culvert installation shall provide for a minimum of 180mm pipe embedment for fish habitat and migration. The resulting travelled portion of the driveway top width would be a minimum of 6.78 metres (22.24 ft.), and the access centreline shall be positioned approximately 2.50 metres (8.20 ft.) north of the existing access centreline currently serving the parcel.

Based on its age and inherent safety concerns, we recommend that this structure be replaced in its entirety. With this structure deemed a legal structure with respect to this Municipal Drain, the costs for the standard access bridge top width shall be shared by the adjoining Bridge Owner and the lands and roads within the watershed, located upstream of the bridge site. The proportion of cost-sharing for the bridge has been established based on the location of the access relative to the reach of the drain, along with the existing cost-sharing provisions previously established for this Municipal Drain. It shall be noted that agricultural grants from OMAFRA are likely available to eligible farm properties assessed under this project. These details were reviewed in detail with Mr. Valenciuk prior to the preparation of this report and the works proposed herein have been prepared on that basis.

Based on our detailed survey, investigations, examinations, and discussions with the affected property owner, we recommend that the existing concrete span bridge be replaced with a new structure in the 7th Concession Drain, at the location and according to the general parameters established in our design drawings attached herein.

### **Maintenance Schedule of Assessment**

Since the completion of the governing 1967 and subsequent Engineer's Reports and By-Laws, various changes have taken place within the drainage area and around the watershed boundaries. In general, many properties have been subdivided and/or merged, drainage patterns have been altered, and land uses have changed. All of the above changes are not properly reflected by the Schedule of Assessment contained within the governing By-Laws and it is necessary to prepare a new Maintenance Schedule of Assessment to properly account for all of the lands and roads affected by the entire length of the 7th Concession Drain. Based on the discussions with the affected landowners at the On-Site Meeting, we recommend that the updated Maintenance Schedules of Assessment be provided as part of this report, in order to properly assess any future maintenance works to the 7th Concession Drain.

### **Summary**

Based on all the above, we recommend that the replacement access bridge be constructed in the 7th Concession Drain to serve as the primary access for the existing agricultural and residential lands owned by Richard & Donna Valenciuk (460-00701 & 460-00702), in Part of Lot 1, Concession 6, in accordance with this report, the attached specifications and the accompanying drawings. Furthermore, an updated Maintenance Schedule of Assessment shall be completed to fairly distribute any future maintenance cost

conducted within the 7th Concession Drain. All works associated with the above shall be carried out in accordance with Sections 76 and 78 of the "Drainage Act, RSO 1990, Chapter D.17, as amended 2021".

### **VIII. ALLOWANCES AND COMPENSATION**

All of the work carried out under this project is located alongside and within the County Road 23 (Arner Townline Road) right-of-way. Furthermore, all areas disturbed by this work are specified for full restoration. Therefore, these works shall not require land to be taken, nor result in any loss of production of agricultural property or any indirect damages to the non-agricultural areas. Therefore, no allowances or compensation shall be provided for under Sections 29 and 30 of the "Drainage Act, RSO 1990, Chapter D.17, as amended 2021".

### **IX. ESTIMATE OF COST**

Our estimate of the total cost of this work, including all incidental expenses, is the sum of **TWO HUNDRED SIXTY FOUR THOUSAND ONE HUNDRED FIFTY FOUR DOLLARS (\$264,154.00)** made up as follows:

<b>CONSTRUCTION ITEMS</b>					
Item	Description	Est Qty	Unit	Unit Price	Total
1.	<b>Bridge (Station 6+698.5 to Station 6+706.5);</b> Provide all of the necessary labour, equipment, and materials to excavate, remove, and dispose of the existing access bridge and abutments, as stated in the Drawings; Provide all labour, equipment, and materials to construct a replacement access bridge consisting of 8.00 metres (26.25 ft.) of 3600mm Span x 1800mm Rise CHBDC CAN/CSA S6-14 Precast Concrete Box Culvert with reinforced concrete apron walls on both ends, including waterproofing and connection to the precast interlocking concrete block headwall and daylighting, sloped quarried limestone erosion protection, granular bedding and backfill, granular driveway approach and shoulder, excavation, compaction, drain side slope excavation, native fill transition, swale grading, topsoil placement and seeding, tree removal, traffic control, dewatering of work site throughout construction, pedestrian access, general cleanup and restoration, complete.	1.0	Lump Sum	\$ 181,900.00	\$ 181,900.00
2.	Net HST for the above construction items (1.76%)				\$ 3,201.00
<b>TOTAL FOR CONSTRUCTION =</b>					<b>\$ 185,101.00</b>

INCIDENTALS		
Item	Description	Total
1.	Report, Estimates and Specifications	\$ 12,100.00
2.	Survey, Assistants, Expenses and Drawings	\$ 15,800.00
3.	Additional Hydraulic Analysis	\$ 6,800.00
4.	Alternative Design Options	\$ 5,800.00
5.	New Maintenance Schedule of Assessment	\$ 7,800.00
6.	Duplication Costs of Drawings and Report	\$ 5,500.00
7.	Cost of Letting the Contract including preparation of Tender Documents and Tender Review	\$ 2,700.00
8.	Cost of providing supervision and Full-Time Inspection during Construction (approx. 2.5-week duration)	\$ 12,400.00
9.	Cost of 3rd Party Geotechnical Services	\$ 8,000.00
10.	Net HST on the above items (1.76%)	\$ 1,353.00
11.	Estimate Cost for ERCA Permit	\$ 800.00
<b>TOTAL FOR INCIDENTALS =</b>		<b>\$ 79,053.00</b>
	<b>TOTAL FOR CONSTRUCTION</b> (brought forward) =	<b>\$ 185,101.00</b>
	<b>TOTAL ESTIMATE =</b>	<b>\$ 264,154.00</b>

#### X. **DRAWINGS AND SPECIFICATIONS**

As part of this report, we have attached the design drawing for the construction of the new access bridge over the 7th Concession Drain. The design drawing shows the alignment of the 7th Concession Drain and the approximate locations of the proposed access bridge within this Municipal Drain. The drawing also illustrates the affected landowners and the details associated with the proposed new access bridge installations. The design drawing is attached to the back of this report and is labelled herein as **Appendix "C"**.

We have prepared Standard Specifications and Special Provisions that set out the required construction details for the various aspects of the works to be conducted under this report.

## **XI. COST DISTRIBUTION AND CONSTRUCTION SCHEDULE OF ASSESSMENT RATIONALE**

### **Construction Schedule of Assessment**

As it relates to the subject access bridge replacement, this structure is considered a legal entity with respect to the 7th Concession Drain. The lands that contribute runoff to the 7th Concession Drain affect flow characteristics and ultimately the size of the replacement structure. Therefore, the construction cost plus incidental costs for the replacement of this structure shall be shared between the bridge user and all of the lands and roads that exist upstream of the said access bridge site, and use the 7th Concession Drain for drainage purposes. The sharing percentage between the bridge user and the upstream lands and roads affected by this structure has been established on the basis of where it is located relative to the entire reach of the drain. The bridge user's share is assessed within the Construction Schedule of Assessment as a Benefit Assessment and the affected upstream owners' share for a standard top-width access bridge is assessed as an Outlet Assessment.

Therefore, we would recommend that all of the costs associated with the details identified herein be assessed against the affected lands and roads as shown in the attached **Construction Schedule of Assessment**.

It shall be noted that the attached Construction Schedule of Assessment is to be utilized for the distribution of costs related to the construction works being provided for under this report and this Construction Schedule of Assessment shall not be utilized for the sharing of any future maintenance works conducted to same.

### **Assessment Components**

The total individual assessments within the Construction Schedule of Assessment comprises of two (2) primary assessment components, including:

- i. *Benefit is defined as advantages to any lands, roads, buildings or other structures from the construction, improvement, repair or maintenance of a drainage works such as will result in a higher market value or increased crop production or improved appearance or better control of surface or subsurface water, or any other advantages relating to the betterment of lands, roads, buildings or other structures, as it relates to Section 22 of the Drainage Act.*
- ii. *Outlet Liability is defined as part of the cost of the construction, improvement or maintenance of a drainage works that is required to provide such outlet or improved outlet, as it relates to Section 23 of the Drainage Act.*

### **Assessment Rationale**

Benefit Assessment – Properties which reside adjacent to the open drain are entitled to access their lands. These lands gain an advantage from any structure constructed within the Municipal Drain for the purposes of accessing and/or protecting the adjacent lands. Therefore, a Benefit Assessment is levied against those who gain an advantage related to the betterment and/or protection of the adjacent lands, based on the definition provided above.

Outlet Assessment – According to the parameters set within Section 23 of the Drainage Act, all lands which utilize the 7th Concession Drain as a drainage outlet may be assessed for Outlet Liability. As further outlined within Section 23(3) of the Drainage Act, the Outlet Assessment is "...based on the volume and rate of flow of the water artificially caused to flow...". Based on the characteristics of the lands that contribute flow to the Municipal Drain, runoff factors have been applied based on the land use of each property to reflect the actual amount of water that is artificially collected and discharged into the drain. Therefore, developed lands (residential, commercial lots and roads) have an increased run-off factor applied to their assessment. Contrarily, lands which have surface (or subsurface) runoff that exits the watershed or contains woodlots would have a decreased run-off factor applied to their assessment.

### **Distribution of Unforeseen Costs**

The distribution of the estimated costs do not include any unforeseen costs for appeals to the Court of Revision, Tribunal or Referee. Any costs to the project associated with dealing with any of these Appeals shall be shared by all assessments in the Construction Schedule of Assessment including all Section 6 non-proratable assessments, as well as any Special Benefit Assessments on a pro-rata basis, or as otherwise established in any decisions from these forums.

Furthermore, during construction, it may become necessary to temporarily or permanently relocate existing utilities that may conflict with the works outlined within this report. Under these circumstances, the relocation of these utilities shall be assessed for any relocation costs against the public utility having jurisdiction in accordance with Section 26 of the Drainage Act. In accordance with Section 69 of the Drainage Act, the utility company is allowed the option to carry out this work utilizing their own forces and at their own cost. However, should they not exercise this option within a reasonable time, the Municipality may arrange to have this work completed and the costs for this work shall be charged to the appropriate public utility. Furthermore, any unforeseen construction costs directly related to the Section 26 works shall be assessed entirely, as an extra, to the applicable Road Authority or Utility.

### **Agricultural Grants and Grant Eligibility**

The Ontario Ministry of Agriculture, Food, and Rural Affairs (OMAFRA) issued Administrative Policies for the Agricultural Drainage Infrastructure Program (ADIP). This program provides financial assistance for eligible costs and assessed lands pursuant to the Drainage Act. Sections 85 to 90 of the Drainage Act allow the Minister to provide grants for various activities under said Act. Sections 85 and 87 make it very clear that grants are provided at the discretion of the Minister. Based on the current ADIP, "lands used for agricultural purposes" may be eligible for a grant in the amount of 1/3 of their total assessment. The policy defines "lands used for agricultural purposes" as those lands eligible for the "Farm Property Class Tax Rate". The Municipal Clerk has provided this information to the Engineer from the current property tax roll and the Engineer has further confirmed this information with the AGMaps Geographic Information Portal Services through OMAFRA. Properties that meet the criteria for "lands used for agricultural purposes" are shown in the attached Assessment Schedules under the subheading "**5. PRIVATELY OWNED – AGRICULTURAL LANDS (grantable)**" and are expected to be eligible for the 1/3 grant from OMAFRA. Under these provisions, we expect that this project will qualify for the grant normally available for agricultural lands. We would, therefore, recommend that the Town of Kingsville make an application, on their behalf, for a Grant from the Ontario Ministry of Agriculture, Food, and Rural Affairs (OMAFRA) in the amount of 1/3 of their total assessment for this project, in accordance with the provisions of Sections 85 and 88 of the "Drainage Act, RSO 1990, Chapter D.17, as amended 2021". Even though it is our opinion that certain lands shall likely

be eligible for grants, there is no guarantee that these lands will qualify or that grants may be available in the future.

During our investigations, we determined that some agricultural lands, which may be used for agricultural purposes, are not currently eligible for this grant primarily because they do not have a Farm Tax Classification. These lands are as follows:

**Table 3 - Agricultural Lands Currently Not Eligible for Grant**

<b>Parcel ID Number</b>	<b>Roll Number</b>	<b>Owner's Name</b>
11	460-01100	Marian Maslin
265	560-02653	1575742 Ontario Limited
272	560-03000	Justin Ireland & Jamie Meunier
279	560-03400	Leo Hayes
283	560-03600	Daniel & Jenny Nantais

These lands, in the Schedules of Assessment, have been categorized and listed under the heading "**5. PRIVATELY OWNED – AGRICULTURAL LANDS (non-grantable)**" which means that these properties would not be eligible for the OMAFRA grant. If these agricultural lands qualify for the Farm Tax Classification, it would be anticipated that they would have been eligible for the grant. From our research into how the Farm Tax Classifications are determined, and from further discussions with OMAFRA representatives, in order to gain a Farm Tax Classification, the Owner would need to meet the following criteria:

- 1) Property Owner must be a Canadian Citizen or Permanent Resident of Canada
- 2) Registered Farm Business that generates a minimum gross income of \$7,000.00.

For the agricultural lands currently listed under the heading "**5. PRIVATELY OWNED – AGRICULTURAL LANDS (non-grantable)**" one of the above items is likely the reason why they are not eligible for the OMAFRA grant. Therefore, we encourage these eligible landowners, which meet these criteria, to apply to become eligible for this grant. For more information on Farm Property Class Tax Rate Program, please visit: <http://omafra.gov.on.ca/english/policy/ftaxfaq.html>

#### **Grant Eligibility for Future Maintenance Schedules of Assessments**

As part of this project, we have provided separate Maintenance Schedules of Assessment for the 7th Concession Drain. It should be noted that the preparation of these new Maintenance Schedules of Assessment under Section 76 of the Drainage Act is not normally eligible for the grant. However, according to Section 2.3(e) of the OMAFRA "Agricultural Drainage Infrastructure Program: Administrative Policies", where the cost of developing a new Assessment Schedules is less than 25% of the engineering costs for the total project, the engineering cost expended towards the preparation of same shall be eligible for the grant. Since the engineering costs for the preparation of Maintenance Schedules of Assessment included herein are less than 25% of the overall engineering costs, we would expect that all of the agricultural assessments associated with the preparation of the new maintenance schedule **shall** be eligible for the grant.

We would, therefore, recommend that all of the costs associated with the preparation of these new Maintenance Schedules of Assessment be charged against the lands and roads affected per the attached Construction Schedule of Assessment included herein. Lands that are used for agricultural purposes have been listed in the Construction Schedule of Assessment under Subheading **"5. PRIVATELY OWNED - AGRICULTURAL LANDS (grantable)"**.

## **XII. SPECIAL CONSIDERATIONS**

### **Future Developments**

The assessments derived within the Schedules of Assessments have been evaluated based on the current conditions and existing developments. It is anticipated that additional areas within the 7th Concession Drain watershed are slated for future agricultural, residential, commercial, and industrial developments. These future developments will create higher runoff from each site and will result in increased flows into the 7th Concession Drain. **Therefore, we recommend that when future developments are proposed within the 7th Concession Drain watershed, Stormwater Management (SWM) provisions shall be incorporated as part of these future developments to restrict their outflow to a 1:2 year storm pre-development runoff rate for the entire area to be connected.** Proper SWM facilities restricting the flows to the allowable release rate will ensure that the subsequent flows will have no adverse effect on the capacity of the 7th Concession Drain. However, SWM provisions will increase the total volume of water that travels through the receiving drains. Therefore, if the Town of Kingsville is prepared to approve the increased total flow volumes from future developments, we recommend that an update to the "Outlet Assessments" shall be established for each future development site, through Section 65 or Section 76 of the Drainage Act.

## **XIII. FUTURE MAINTENANCE**

### **Access Bridge for Richard & Donna Valenciuk (460-00701 & 460-00702)**

It should be noted that a mechanism should be provided herein so that the Town of Kingsville can undertake future maintenance works on the access bridge identified within this report so that the future maintenance costs for this structure can be properly assessed to the affected landowners. With the proposed structure being established as primary access to the respective properties and established as a legal entity with respect to the 7th Concession Drain, the future maintenance and/or its future repair and replacement would be eligible for cost-sharing with all upstream lands and roads contributing to each structure. Therefore, we recommend that this structure within the 7th Concession Drain, for which future maintenance costs are to be shared with upstream lands and roads within the watershed, be maintained by the Municipality.

When any maintenance work is required in the future to this access bridge, we wish to establish that **33.8%** of the future maintenance costs be assessed as a Benefit Assessment against the abutting property being served by the access bridge, which is currently owned by Richard & Donna Valenciuk (460-00701 & 460-00702), in Part of Lot 1, Concession 6, Geographic Township of Gosfield North. The remaining **66.2%** of the future maintenance cost shall be assessed as an Outlet Assessment against the lands and roads lying upstream of the bridge site, within the drain watershed. The future maintenance costs are to be assessed to the lands and roads in the same proportions as the assessment charges shown in the Maintenance

Schedule of Assessment contained within this report, or as per subsequent amendments made thereto under the Drainage Act.

Said maintenance work would include work to the structure, bedding and backfill, end treatment and other ancillary work. Should concrete or asphalt driveway surfaces over these access bridge driveways require removal as part of the maintenance work, these surfaces should be repaired or replaced as part of the work. Likewise, if any fencing, gate, decorative walls, guard rails or other special features exist that will be impacted by the maintenance work, they are also to be removed and restored or replaced as part of the structure maintenance work. However, the cost of the supply and installation of any surface material other than Granular "A" material, and the cost of removal and restoration or replacement of any special features, if necessary, shall be totally assessed to the benefiting adjoining Owner served by said access bridge.

### **7th Concession Drain – Open Drain**

After the completion of all of the works associated with this Engineer's Report, we would recommend that the 7th Concession Drain be kept up and maintained in the future through the Town of Kingsville and at the expense of the lands and roads included within the Maintenance Schedules of Assessment attached herein and labelled **Appendix "D"**.

In order to fairly distribute costs of future maintenance to the 7th Concession Drain, we have identified three (3) Future Maintenance Schedules of Assessments for distinct sections of this drain where maintenance provisions shall be established and distributed on the following basis:

1. Entire Drain Length (Station 0+000.0 to Station 6+949.8)

When future maintenance works are performed over the entire length of the 7th Concession Drain, we recommend that the cost for these works of future maintenance shall be shared by the abutting landowners and upstream affected lands and roads, following the same proportions established within the **Future Maintenance Schedule of Assessment #1 - 7th Concession Drain (Station 0+000 to Station 6+949.8)** included within **Appendix "D"**. This Schedule of Assessment has been developed based on an assumed cost of **\$100,000.00** and the future maintenance costs shall be levied pro-rata to the affected lands and roads that are adjacent to and situated upstream of this section of drain for which future maintenance works have been carried out. Therefore, when **\$100,000.00** worth of future maintenance work is expended on the entire length of the drain, the assessment to each of the individual affected property owners and roads shall be levied per the noted Maintenance Schedule of Assessment. It should be clearly understood that the amounts shown within this Schedule are only for prorating future maintenance costs for the drain and do not form part of the current cost for the work.

2. Upstream Section (Station 0+000.0 to Station 2+870.9)

When future maintenance works are performed strictly between Station 0+000.0 and Station 2+870.9 within the 7th Concession Drain, we recommend that it be maintained in the future by the Town of Kingsville. This reach of the Municipal Drain extends from its top end to a the intersection of the McCain Sideroad (confluence of the Centre Branch of the No. 47 Drain). The cost for these works of future maintenance shall be shared by the abutting landowner and upstream affected lands and roads, following the same proportions established within the **Future Maintenance Schedule of Assessment**

**#2 - 7th Concession Drain – Upstream Section (Station 0+000.0 to Station 2+870.9)** included within **Appendix "D"**. This Schedule of Assessment has been developed based on an assumed cost of **\$50,000.00** and the future maintenance costs shall be levied pro-rata to the affected lands and roads that are situated adjacent to and upstream of this section of drain for which future maintenance works have been carried out. Therefore, when **\$50,000.00** worth of future maintenance work is expended on this section of the drain, the assessment to each of the individual affected property owners and roads shall be levied per the noted Maintenance Schedule of Assessment. It should be clearly understood that the amounts shown within this Schedule are only for prorating future maintenance costs for the drain and do not form part of the current cost for the work.

4. Downstream Section (Station 2+870.9 to Station 6+949.8)

When future maintenance works are performed strictly between Station 2+870.9 and Station 6+949.8 within the 7th Concession Drain, we recommend that it be maintained in the future by the Town of Kingsville. This reach of the Municipal Drain extends from the intersection of the McCain Sideroad (confluence of the Centre Branch of the No. 47 Drain) to its outlet at the road crossing culvert crossing County Road 23 (Arner Townline). The cost for these works of future maintenance shall be shared by the abutting landowner and upstream affected lands and roads, following the same proportions established within the **Future Maintenance Schedule of Assessment #3 - 7th Concession Drain – Downstream Section (Station 2+870.9 to Station 6+949.8)** included within **Appendix "D"**. This Schedule of Assessment has been developed based on an assumed cost of **\$50,000.00** and the future maintenance costs shall be levied pro-rata to the affected lands and roads that are situated adjacent to and upstream of this section of drain for which future maintenance works have been carried out. Therefore, when **\$50,000.00** worth of future maintenance work is expended on this section of the drain, the assessment to each of the individual affected property owners and roads shall be levied per the noted Maintenance Schedule of Assessment. It should be clearly understood that the amounts shown within this Schedule are only for prorating future maintenance costs for the drain and do not form part of the current cost for the work.

The attached Future Maintenance Schedules of Assessment for the 7th Concession Drain are to be utilized only for the maintenance of the open drain, together with the flushing of sediment material within any existing access and municipal roadway crossing structures in the drain. If spot maintenance is performed within the specified reach of the drain, it is recommended that only those lands adjacent and upstream of the maintenance site be assessed for any future costs. It shall be noted that these schedules shall not be utilized for any other maintenance and repair works being conducted to any of the existing access or roadway crossing structures. These existing structures are to be assessed in a different fashion, as outlined below.

**7th Concession Drain - Working Corridors and Access Routes**

Access routes and working corridors have been established in previous By-Laws to help facilitate the necessary drainage improvements and future maintenance of the 7th Concession Drain. The lands in which these working corridors and access routes have been established have previously been compensated for and shall remain in perpetuity for all future maintenance works on the 7th Concession Drain. Therefore, when future maintenance works are being conducted, the Contractor shall be expected to keep all future

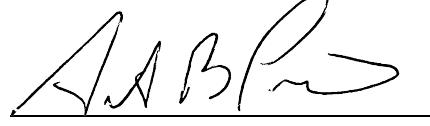
equipment and forces within the established working corridors for any future maintenance performed on the 7th Concession Drain.

**Future Maintenance Summary**

All of the above provisions for future maintenance of the above-listed bridge structures under this report shall remain as aforesaid until otherwise determined under the provisions of the "Drainage Act, RSO 1990, Chapter, D.17, as amended 2021".

All of which is respectfully submitted,

**N.J. PERALTA ENGINEERING LTD.**



Antonio B. Peralta, P.Eng.

ABP/kk



CONSTRUCTION SCHEDULE OF ASSESSMENT**2. ONTARIO LANDS:**

Parcel ID <u>Number</u>	Tax Roll <u>Number</u>	Con. or Plan <u>Number</u>	Lot or Part <u>of Lot</u>	Acres <u>Owned</u>	Acres <u>Affected</u>	Hectares <u>Affected</u>	Owner's Name	Value of <u>Benefit</u>	Value of <u>Outlet</u>	TOTAL <u>VALUE</u>
					38.24	15.475	Ministry of Transportation Ontario	\$ 311.00	\$ 13,589.00	\$ 13,900.00
<b>Total on Ontario Lands.....</b>										
								<b>\$ 311.00</b>	<b>\$ 13,589.00</b>	<b>\$ 13,900.00</b>

**3. MUNICIPAL LANDS:**

Parcel ID <u>Number</u>	Tax Roll <u>Number</u>	Con. or Plan <u>Number</u>	Lot or Part <u>of Lot</u>	Acres <u>Owned</u>	Acres <u>Affected</u>	Hectares <u>Affected</u>	Owner's Name	Value of <u>Benefit</u>	Value of <u>Outlet</u>	TOTAL <u>VALUE</u>
					37.36	15.120	County of Essex	\$ 595.00	\$ 10,540.00	\$ 11,135.00
					3.23	1.307	County of Essex	\$ -	\$ 1,254.00	\$ 1,254.00
					3.52	1.425	County of Essex	\$ 70.00	\$ 15.00	\$ 85.00
					13.34	5.400	Town of Kingsville	\$ 121.00	\$ 3,882.00	\$ 4,003.00
					5.46	2.211	Town of Kingsville	\$ 17.00	\$ 1,563.00	\$ 1,580.00
					0.62	0.251	Town of Kingsville	\$ 12.00	\$ 197.00	\$ 209.00
					4.97	2.010	Town of Kingsville	\$ 99.00	\$ 1,278.00	\$ 1,377.00
					1.72	0.696	Town of Kingsville	\$ -	\$ 724.00	\$ 724.00
					1.19	0.482	Town of Kingsville	\$ -	\$ 501.00	\$ 501.00
					2.12	0.859	Town of Kingsville	\$ -	\$ 892.00	\$ 892.00
					1.93	0.781	Town of Kingsville	\$ -	\$ 810.00	\$ 810.00
					1.53	0.618	Town of Kingsville	\$ -	\$ 641.00	\$ 641.00
					0.76	0.306	Town of Kingsville	\$ -	\$ 317.00	\$ 317.00
					0.33	0.135	Town of Kingsville	\$ -	\$ 140.00	\$ 140.00
					1.72	0.694	Town of Kingsville	\$ -	\$ 721.00	\$ 721.00
<b>Total on Municipal Lands.....</b>										
								<b>\$ 914.00</b>	<b>\$ 23,475.00</b>	<b>\$ 24,389.00</b>

**4. PRIVATELY OWNED - NON-AGRICULTURAL LANDS:**

Parcel ID <u>Number</u>	Tax Roll <u>Number</u>	Con. or Plan <u>Number</u>	Lot or Part <u>of Lot</u>	Acres <u>Owned</u>	Acres <u>Affected</u>	Hectares <u>Affected</u>	<u>Owner's Name</u>	Value of <u>Benefit</u>	Value of <u>Outlet</u>	TOTAL <u>VALUE</u>
2	460-00701	6	Pt. Lot 1	0.57	0.57	0.231	Richard & Donna Valenciuk	\$ 42,834.00	\$ 106.00	\$ 42,940.00
5	460-00801	6	Pt. Lot 2	1.18	1.18	0.478	John & Nancy Stitzinger	\$ 12.00	\$ 4.00	\$ 16.00
6	460-00802	6	Pt. Lot 2	1.07	1.07	0.433	Paul & Corinne Molle	\$ 11.00	\$ 4.00	\$ 15.00
8	460-00910	6	Pt. of Lot 2	0.62	0.62	0.251	Joseph & Christine Parent	\$ 6.00	\$ 3.00	\$ 9.00
9	460-00911	6	Pt. Lot 2	0.70	0.70	0.283	Mark Hall & Melissa Weldon	\$ 7.00	\$ 3.00	\$ 10.00
13	460-01210	6	Pt. Lot 4	1.00	1.00	0.405	Shelley Moody	\$ 10.00	\$ 229.00	\$ 239.00
15	460-01301	6	Pt. Lot 4	1.63	1.63	0.660	Amber Norman & Trevor Maheux	\$ 16.00	\$ 312.00	\$ 328.00
17	460-01501	6	Pt. Lot 6	0.92	0.92	0.372	Henry & Megan Lumley	\$ 9.00	\$ 143.00	\$ 152.00
19	460-01505	6	Pt. Lot 5	1.11	1.11	0.449	Arthur Brown	\$ 11.00	\$ 200.00	\$ 211.00
31	490-02000	6	Pt. Lot 8	0.40	0.40	0.162	Donna Merritt	\$ 4.00	\$ 80.00	\$ 84.00
36	500-00102	7	Pt. Lot 7	1.97	1.97	0.797	Lloyd & Catherine Ferguson	\$ -	\$ 406.00	\$ 406.00
38	500-00200	7	Pt. Lot 7	1.12	1.12	0.453	Tyler Menard & Elizabeth Jeffery	\$ 10.00	\$ 244.00	\$ 254.00
39	500-00201	7	Pt. Lot 6	0.67	0.67	0.271	Dorothy Davison	\$ 7.00	\$ 138.00	\$ 145.00
41	500-00300	7	Pt. Lot 6	1.26	1.26	0.510	Philip Keele & Quina Bartoli	\$ 13.00	\$ 248.00	\$ 261.00
44	500-00501	7	Pt. Lot 6	1.52	1.52	0.615	David & Debbie Alexander	\$ 15.00	\$ 342.00	\$ 357.00
45	500-00600	7	Pt. Lot 6	1.00	1.00	0.405	Benjamin & Kaitlyn Watson	\$ 10.00	\$ 208.00	\$ 218.00
47	500-00800	7	Pt. Lot 5	1.20	1.20	0.486	Kari Barnett	\$ 12.00	\$ 185.00	\$ 197.00
50	500-01050	7	Pt. Lot 4	1.22	1.22	0.494	Jennifer & Michael Dinchik	\$ 10.00	\$ 211.00	\$ 221.00
52	500-01150	7	Pt. Lot 3	0.47	0.47	0.190	Dawne Grado	\$ 5.00	\$ 98.00	\$ 103.00
53	500-01201	7	Pt. Lot 3	2.47	2.47	1.000	Daniel & Nina Lavin	\$ 25.00	\$ 360.00	\$ 385.00
55	500-01300	7	Pt. Lot 3	0.91	0.91	0.368	Nina Civitarese & Daniel Bouliane	\$ 9.00	\$ 169.00	\$ 178.00
57	500-01500	7	Pt. Lot 2	4.99	4.99	2.019	Douglas & Andrea Pisciotto	\$ 43.00	\$ 669.00	\$ 712.00
59	500-01610	7	Pt. Lot 2	0.57	0.57	0.231	Ruth Battersby	\$ 6.00	\$ 100.00	\$ 106.00
60	500-01700	7	Pt. Lot 2	0.34	0.34	0.138	Dale & Betty Steed	\$ 3.00	\$ 93.00	\$ 96.00
62	500-01900	7	Pt. Lot 1	1.00	1.00	0.405	Michael & Constance Mulholland	\$ -	\$ 197.00	\$ 197.00
67	500-03400	7	Pt. Lot 7	1.00	1.00	0.405	Kevin Darmon	\$ -	\$ 180.00	\$ 180.00
68	500-03500	7	Pt. Lot 7	2.30	2.30	0.931	James & Diane Ferguson	\$ -	\$ 425.00	\$ 425.00
69	560-00101	STR	Pt. Lot 269	6.73	6.73	2.724	Gary & Laurie Taveirne	\$ -	\$ 992.00	\$ 992.00
70	560-00400	STR	Pt. Lot 267	0.91	0.91	0.368	John & Diane Bachtold	\$ 9.00	\$ 143.00	\$ 152.00
74	560-00800	STR	Pt. Lot 267	0.57	0.57	0.231	Diane Bachtold & Alysa Gould	\$ 6.00	\$ 127.00	\$ 133.00

**4. PRIVATELY OWNED - NON-AGRICULTURAL LANDS: *Continued***

Parcel ID <u>Number</u>	Tax Roll <u>Number</u>	Con. or Plan <u>Number</u>	Lot or Part <u>of Lot</u>	Acres <u>Owned</u>	Acres <u>Affected</u>	Hectares <u>Affected</u>	<u>Owner's Name</u>	Value of <u>Benefit</u>	Value of <u>Outlet</u>	TOTAL <u>VALUE</u>
75	560-00801	STR	Pt. Lot 268	0.86	0.86	0.348	Barbara Van Grinsven	\$ 9.00	\$ 156.00	\$ 165.00
76	560-00890	STR	Pt. Lot 268	1.03	1.03	0.417	Andrea Nikita	\$ 10.00	\$ 154.00	\$ 164.00
80	560-01117	STR	Pt. Lot 269	0.21	0.21	0.085	Neil Arner	\$ -	\$ 54.00	\$ 54.00
81	560-01119	STR	Pt. Lot 269	0.17	0.17	0.069	David Krahm	\$ -	\$ 52.00	\$ 52.00
82	560-01121	STR	Pt. Lot 269	0.17	0.17	0.069	Terry Ramsay & Amy Wiper	\$ -	\$ 52.00	\$ 52.00
83	560-01123	STR	Pt. Lot 269	0.20	0.20	0.081	Heidi & Paul Harnish	\$ -	\$ 53.00	\$ 53.00
84	560-01125	STR	Pt. Lot 269	0.33	0.33	0.134	Cameron & Grace Fast	\$ -	\$ 70.00	\$ 70.00
85	560-01127	STR	Pt. Lot 269	0.34	0.34	0.138	Antonio & Sheila Lopetrone	\$ -	\$ 73.00	\$ 73.00
86	560-01129	STR	Pt. Lot 269	0.19	0.19	0.077	Trevor & Kari Smith	\$ -	\$ 53.00	\$ 53.00
87	560-01131	STR	Pt. Lot 269	0.17	0.17	0.069	Steven & Mckenzee Chortos	\$ -	\$ 52.00	\$ 52.00
88	560-01133	STR	Pt. Lot 269	0.17	0.17	0.069	Jason Clark & Amanda Middleton	\$ -	\$ 52.00	\$ 52.00
89	560-01135	STR	Pt. Lot 269	0.21	0.21	0.085	Michael & Tina O'Connor	\$ -	\$ 56.00	\$ 56.00
90	560-01137	STR	Pt. Lot 269	0.21	0.21	0.085	Eric & Amanda Noel	\$ -	\$ 56.00	\$ 56.00
91	560-01200	STR	Pt. Lot 269	0.17	0.17	0.069	Wilhelm & Jessica Loewen	\$ -	\$ 52.00	\$ 52.00
93	560-01234	STR	Pt. Lot 269	0.21	0.21	0.085	Carlos Correa & Gloria Arango	\$ -	\$ 56.00	\$ 56.00
94	560-01236	STR	Pt. Lot 269	0.18	0.18	0.073	Benjamin & Melissa Fischer	\$ -	\$ 55.00	\$ 55.00
95	560-01238	STR	Pt. Lot 269	0.17	0.17	0.069	Brian & Sharon Birch	\$ -	\$ 52.00	\$ 52.00
96	560-01240	STR	Pt. Lot 269	0.28	0.28	0.113	Alexander & Jamesina Keeney	\$ -	\$ 75.00	\$ 75.00
97	560-01242	STR	Pt. Lot 269	0.26	0.26	0.105	David & Toni Curtis	\$ -	\$ 65.00	\$ 65.00
98	560-01244	STR	Pt. Lot 269	0.31	0.31	0.125	Nancy Garraway & John Etue	\$ -	\$ 68.00	\$ 68.00
99	560-01246	STR	Pt. Lot 269	0.16	0.16	0.065	Al Langstaff	\$ -	\$ 49.00	\$ 49.00
100	560-01248	STR	Pt. Lot 269	0.17	0.17	0.069	Maninder Brar & Prabjheet Kaur	\$ -	\$ 52.00	\$ 52.00
101	560-01249	STR	Pt. Lot 269	0.21	0.21	0.085	Virginia Deman & The Canada Trust Company	\$ -	\$ 56.00	\$ 56.00
102	560-01252	STR	Pt. Lot 269	0.18	0.18	0.073	Connie Bilton	\$ -	\$ 55.00	\$ 55.00
103	560-01254	STR	Pt. Lot 269	0.17	0.17	0.069	Michael & Rita Beaule	\$ -	\$ 52.00	\$ 52.00
104	560-01256	STR	Pt. Lot 269	0.17	0.17	0.069	Keith Cullin	\$ -	\$ 52.00	\$ 52.00
105	560-01258	STR	Pt. Lot 269	0.22	0.22	0.089	Brian Mitchell & Jane Harley	\$ -	\$ 67.00	\$ 67.00
106	560-01260	STR	Pt. Lot 269	0.26	0.26	0.105	Mario & Sonia Mendes	\$ -	\$ 65.00	\$ 65.00
107	560-01262	STR	Pt. Lot 269	0.28	0.28	0.113	Fredy & Corin Menjivar	\$ -	\$ 76.00	\$ 76.00

**4. PRIVATELY OWNED - NON-AGRICULTURAL LANDS: *Continued***

<u>Parcel ID Number</u>	<u>Tax Roll Number</u>	<u>Con. or Plan Number</u>	<u>Lot or Part of Lot</u>	<u>Acres Owned</u>	<u>Acres Affected</u>	<u>Hectares Affected</u>	<u>Owner's Name</u>	<u>Value of Benefit</u>	<u>Value of Outlet</u>	<u>TOTAL VALUE</u>
108	560-01264	STR	Pt. Lot 269	0.22	0.22	0.089	Douglas Dalpe	\$ -	\$ 67.00	\$ 67.00
109	560-01266	STR	Pt. Lot 269	0.17	0.17	0.069	Santino Viselli & Megan Manchester	\$ -	\$ 52.00	\$ 52.00
110	560-01268	STR	Pt. Lot 269	0.17	0.17	0.069	Irene Stewart	\$ -	\$ 52.00	\$ 52.00
111	560-01270	STR	Pt. Lot 269	0.18	0.18	0.073	Joseph & Lindsay Iatonna	\$ -	\$ 55.00	\$ 55.00
112	560-01310	STR	Pt. Lot 269	0.17	0.17	0.069	Christopher South & Maegan Ferranti	\$ -	\$ 52.00	\$ 52.00
113	560-01312	STR	Pt. Lot 269	0.17	0.17	0.069	Justin & Sarah Snelgrove	\$ -	\$ 52.00	\$ 52.00
114	560-01314	STR	Pt. Lot 269	0.20	0.20	0.081	Crystal Hudon & Michael Bondy	\$ -	\$ 54.00	\$ 54.00
115	560-01316	STR	Pt. Lot 269	0.22	0.22	0.089	Tyler & Patricia Driedger	\$ -	\$ 56.00	\$ 56.00
116	560-01318	STR	Pt. Lot 269	0.15	0.15	0.061	Edward & Brenda Ryall	\$ -	\$ 73.00	\$ 73.00
117	560-01320	STR	Pt. Lot 269	0.16	0.16	0.065	James & Nicole Bradley	\$ -	\$ 49.00	\$ 49.00
118	560-01322	STR	Pt. Lot 269	0.21	0.21	0.085	Kevin Anderson & Michele Lowe	\$ -	\$ 54.00	\$ 54.00
119	560-01324	STR	Pt. Lot 269	0.20	0.20	0.081	Roger Desramaux & Megan Watson	\$ -	\$ 54.00	\$ 54.00
120	560-01326	STR	Pt. Lot 269	0.20	0.20	0.081	Bker & Zelia Abdulkader	\$ -	\$ 54.00	\$ 54.00
121	560-01328	STR	Pt. Lot 269	0.19	0.19	0.077	Peter Millar & Jaclyn Garant	\$ -	\$ 52.00	\$ 52.00
122	560-01330	STR	Pt. Lot 269	0.12	0.12	0.049	Cottam Solar Limited	\$ -	\$ 33.00	\$ 33.00
123	560-01334	STR	Pt. Lot 269	0.19	0.19	0.077	Cottam Solar Limited	\$ -	\$ 52.00	\$ 52.00
124	560-01336	STR	Pt. Lot 269	0.21	0.21	0.085	Cottam Solar Limited	\$ -	\$ 58.00	\$ 58.00
125	560-01338	STR	Pt. Lot 269	0.21	0.21	0.085	Cottam Solar Limited	\$ -	\$ 58.00	\$ 58.00
126	560-01340	STR	Pt. Lot 269	0.19	0.19	0.077	Cottam Solar Limited	\$ -	\$ 52.00	\$ 52.00
127	560-01342	STR	Pt. Lot 269	0.18	0.18	0.073	Cottam Solar Limited	\$ -	\$ 50.00	\$ 50.00
128	560-01343	STR	Pt. Lot 269	0.06	0.06	0.024	Cottam Solar Limited	\$ -	\$ 17.00	\$ 17.00
129	560-01344	STR	Pt. Lot 269	0.22	0.22	0.089	Cottam Solar Limited	\$ -	\$ 60.00	\$ 60.00
130	560-01345	STR	Pt. Lot 269	0.30	0.30	0.121	Cottam Solar Limited	\$ -	\$ 83.00	\$ 83.00
131	560-01346	STR	Pt. Lot 269	0.19	0.19	0.077	Cottam Solar Limited	\$ -	\$ 52.00	\$ 52.00
132	560-01348	STR	Pt. Lot 269	0.21	0.21	0.085	Cottam Solar Limited	\$ -	\$ 58.00	\$ 58.00
133	560-01350	STR	Pt. Lot 269	0.31	0.31	0.125	Cottam Solar Limited	\$ -	\$ 85.00	\$ 85.00
134	560-01352	STR	Pt. Lot 269	0.34	0.34	0.138	Cottam Solar Limited	\$ -	\$ 93.00	\$ 93.00
135	560-01354	STR	Pt. Lot 269	0.27	0.27	0.109	Cottam Solar Limited	\$ -	\$ 75.00	\$ 75.00
136	560-01356	STR	Pt. Lot 269	0.21	0.21	0.085	Cottam Solar Limited	\$ -	\$ 58.00	\$ 58.00
137	560-01358	STR	Pt. Lot 269	0.25	0.25	0.101	Cottam Solar Limited	\$ -	\$ 68.00	\$ 68.00

**4. PRIVATELY OWNED - NON-AGRICULTURAL LANDS: *Continued***

Parcel ID <u>Number</u>	Tax Roll <u>Number</u>	Con. or Plan <u>Number</u>	Lot or Part <u>of Lot</u>	Acres <u>Owned</u>	Acres <u>Affected</u>	Hectares <u>Affected</u>	Owner's Name	Value of <u>Benefit</u>	Value of <u>Outlet</u>	TOTAL <u>VALUE</u>
138	560-01360	STR	Pt. Lot 269	0.20	0.20	0.081	Cottam Solar Limited	\$ -	\$ 55.00	\$ 55.00
139	560-01362	STR	Pt. Lot 269	0.18	0.18	0.073	Cottam Solar Limited	\$ -	\$ 50.00	\$ 50.00
140	560-01364	STR	Pt. Lot 269	0.18	0.18	0.073	Cottam Solar Limited	\$ -	\$ 50.00	\$ 50.00
141	560-01366	STR	Pt. Lot 269	0.18	0.18	0.073	Cottam Solar Limited	\$ -	\$ 50.00	\$ 50.00
142	560-01368	STR	Pt. Lot 269	0.19	0.19	0.077	Cottam Solar Limited	\$ -	\$ 52.00	\$ 52.00
143	560-01370	STR	Pt. Lot 269	0.19	0.19	0.077	Cottam Solar Limited	\$ -	\$ 52.00	\$ 52.00
144	560-01372	STR	Pt. Lot 269	0.20	0.20	0.081	Christian Fairey & Hailee Mathies	\$ -	\$ 54.00	\$ 54.00
145	560-01374	STR	Pt. Lot 269	0.18	0.18	0.073	Mary Chapman & Wayne Roy	\$ -	\$ 55.00	\$ 55.00
146	560-01376	STR	Pt. Lot 269	0.18	0.18	0.073	Amy & Robert Purdy	\$ -	\$ 55.00	\$ 55.00
147	560-01378	STR	Pt. Lot 269	0.18	0.18	0.073	Anthony & Sarah Querin	\$ -	\$ 55.00	\$ 55.00
148	560-01380	STR	Pt. Lot 269	0.18	0.18	0.073	Norman Davison & Stephen Laurie	\$ -	\$ 55.00	\$ 55.00
149	560-01382	STR	Pt. Lot 269	0.20	0.20	0.081	Danielle Oles	\$ -	\$ 54.00	\$ 54.00
150	560-02390	STR	Pt. Lot 269	0.17	0.17	0.069	Randy & Lori Duhig	\$ -	\$ 52.00	\$ 52.00
151	560-02400	STR	Pt. Lot 269	0.17	0.17	0.069	Allan & Laura Gagne	\$ -	\$ 52.00	\$ 52.00
152	560-02401	M100	Lot 25	0.34	0.34	0.138	Curtis Bishop	\$ -	\$ 73.00	\$ 73.00
153	560-02402	M100	Lot 24	0.30	0.30	0.121	Wanda Hayes	\$ -	\$ 65.00	\$ 65.00
154	560-02403	M100	Lot 23	0.28	0.28	0.113	Ivan Dets	\$ -	\$ 76.00	\$ 76.00
155	560-02404	M100	Lot 22	0.24	0.24	0.097	Ronald & Debra Mitchell	\$ -	\$ 48.00	\$ 48.00
156	560-02405	M100	Lot 21	0.17	0.17	0.069	Daniel Stanley	\$ -	\$ 52.00	\$ 52.00
157	560-02406	M100	Lot 20	0.19	0.19	0.077	Francesco Incitti & Sofia Montgomery	\$ -	\$ 52.00	\$ 52.00
158	560-02407	M100	Lot 19	0.18	0.18	0.073	John & Krista Armaly	\$ -	\$ 55.00	\$ 55.00
159	560-02408	M100	Lot 18	0.18	0.18	0.073	Shelley Schraeder	\$ -	\$ 55.00	\$ 55.00
160	560-02409	M100	Lot 17	0.17	0.17	0.069	Daniel & Twyla St.Louis	\$ -	\$ 52.00	\$ 52.00
161	560-02410	M100	Lot 16	0.17	0.17	0.069	Florin Serbanescu	\$ -	\$ 52.00	\$ 52.00
162	560-02411	M100	Lot 15	0.17	0.17	0.069	James & Cheryl Sagaert	\$ -	\$ 52.00	\$ 52.00
163	560-02412	M100	Lot 28	0.22	0.22	0.089	Neil & Barbara Banman	\$ -	\$ 56.00	\$ 56.00
164	560-02413	M100	Lot 29	0.22	0.22	0.089	Joseph & Susan Schembri	\$ -	\$ 56.00	\$ 56.00
165	560-02416	M100	Lot 32	0.18	0.18	0.073	Ian & Janet Williams	\$ -	\$ 55.00	\$ 55.00
166	560-02417	M100	Lot 33	0.18	0.18	0.073	Anthony Esposito	\$ -	\$ 55.00	\$ 55.00
167	560-02418	M100	Lot 34	0.18	0.18	0.073	Richard & Brenda Summerfield	\$ -	\$ 55.00	\$ 55.00

**4. PRIVATELY OWNED - NON-AGRICULTURAL LANDS: *Continued***

Parcel ID <u>Number</u>	Tax Roll <u>Number</u>	Con. or Plan <u>Number</u>	Lot or Part <u>of Lot</u>	Acres <u>Owned</u>	Acres <u>Affected</u>	Hectares <u>Affected</u>	<u>Owner's Name</u>	Value of <u>Benefit</u>	Value of <u>Outlet</u>	TOTAL <u>VALUE</u>
168	560-02419	M100	Lot 35	0.18	0.18	0.073	Mary Squance	\$ -	\$ 55.00	\$ 55.00
169	560-02420	M100	Lot 36	0.18	0.18	0.073	Carol Montello	\$ -	\$ 55.00	\$ 55.00
170	560-02421	M100	Lot 37	0.18	0.18	0.073	James & Ginger Bogdon	\$ -	\$ 55.00	\$ 55.00
171	560-02422	M100	Lot 38	0.18	0.18	0.073	John & Bonnie Marn	\$ -	\$ 55.00	\$ 55.00
172	560-02423	M100	Lot 14	0.19	0.19	0.077	Johan & Sarah Wiebe	\$ -	\$ 52.00	\$ 52.00
173	560-02424	M100	Lot 13	0.17	0.17	0.069	Joseph Foley & Volha Baranava	\$ -	\$ 52.00	\$ 52.00
174	560-02425	M100	Lot 12	0.17	0.17	0.069	Rojina & Ruth Veeresar	\$ -	\$ 52.00	\$ 52.00
175	560-02426	M100	Lot 11	0.17	0.17	0.069	David & Karen Middleton	\$ -	\$ 52.00	\$ 52.00
176	560-02427	M100	Lot 10	0.17	0.17	0.069	Timothy & Jennine Meloche	\$ -	\$ 52.00	\$ 52.00
177	560-02428	M100	Lot 9	0.17	0.17	0.069	Jason & Sherri Dutot	\$ -	\$ 52.00	\$ 52.00
178	560-02429	M100	Lot 8	0.19	0.19	0.077	Ralph & Veronica Devries	\$ -	\$ 52.00	\$ 52.00
179	560-02430	M100	Lot 7	0.17	0.17	0.069	Donald & Mary Bryant	\$ -	\$ 52.00	\$ 52.00
180	560-02431	M100	Lot 6	0.20	0.20	0.081	David Pereira & Kathleen Dennison	\$ -	\$ 54.00	\$ 54.00
181	560-02432	M100	Lot 5	0.18	0.18	0.073	Becky & Corey Coussens	\$ -	\$ 55.00	\$ 55.00
182	560-02433	M100	Lot 4	0.18	0.18	0.073	Shannon Dalgleish & Robert Scott	\$ -	\$ 55.00	\$ 55.00
183	560-02434	M100	Lot 3	0.18	0.18	0.073	Timothy & Sherry Rudge	\$ -	\$ 55.00	\$ 55.00
184	560-02435	M100	Lot 2	0.21	0.21	0.085	Cornelio & Anna Fehr	\$ -	\$ 54.00	\$ 54.00
185	560-02436	STR	Pt. Lot 269	0.21	0.21	0.085	Jake Fehr	\$ -	\$ 54.00	\$ 54.00
186	560-02437	STR	Pt. Lot 269	0.17	0.17	0.069	David Barwick & Angela Mulcaster-Boer	\$ -	\$ 52.00	\$ 52.00
187	560-02438	STR	Pt. Lot 269	0.17	0.17	0.069	Steven Moon & Gail Donais	\$ -	\$ 52.00	\$ 52.00
188	560-02439	STR	Pt. Lot 269	0.17	0.17	0.069	Gerald & Tammy Poirier	\$ -	\$ 52.00	\$ 52.00
189	560-02440	STR	Pt. Lot 269	0.17	0.17	0.069	Jeffrey & Amanda Ferreira	\$ -	\$ 52.00	\$ 52.00
190	560-02441	STR	Pt. Lot 269	0.21	0.21	0.085	Steven & Cynthia Ghikidis	\$ -	\$ 54.00	\$ 54.00
191	560-02442	STR	Pt. Lot 269	0.20	0.20	0.081	William & Sarah Smith	\$ -	\$ 54.00	\$ 54.00
192	560-02443	STR	Pt. Lot 269	0.19	0.19	0.077	Robert & Shannon Belleau	\$ -	\$ 52.00	\$ 52.00
193	560-02444	STR	Pt. Lot 269	0.19	0.19	0.077	Daniel & Shelby Wilkins	\$ -	\$ 52.00	\$ 52.00
194	560-02445	STR	Pt. Lot 269	0.19	0.19	0.077	Chad Gray	\$ -	\$ 52.00	\$ 52.00
195	560-02446	STR	Pt. Lot 269	0.19	0.19	0.077	Gary & Patricia Bain	\$ -	\$ 52.00	\$ 52.00
196	560-02447	STR	Pt. Lot 269	0.19	0.19	0.077	Herbert Bernhardt & Kathleen Sauter	\$ -	\$ 52.00	\$ 52.00
197	560-02448	STR	Pt. Lot 269	0.19	0.19	0.077	Douglas & Ann Sabga	\$ -	\$ 52.00	\$ 52.00

**4. PRIVATELY OWNED - NON-AGRICULTURAL LANDS: *Continued***

Parcel ID <u>Number</u>	Tax Roll <u>Number</u>	Con. or Plan <u>Number</u>	Lot or Part <u>of Lot</u>	Acres <u>Owned</u>	Acres <u>Affected</u>	Hectares <u>Affected</u>	<u>Owner's Name</u>	Value of <u>Benefit</u>	Value of <u>Outlet</u>	TOTAL <u>VALUE</u>
198	560-02449	STR	Pt. Lot 269	0.19	0.19	0.077	Jacob Hildebrant & Helen Boldt	\$ -	\$ 52.00	\$ 52.00
199	560-02450	STR	Pt. Lot 269	0.19	0.19	0.077	David & Sabrina Green	\$ -	\$ 52.00	\$ 52.00
200	560-02451	STR	Pt. Lot 269	0.20	0.20	0.081	Kyle Sayers	\$ -	\$ 54.00	\$ 54.00
201	560-02452	STR	Pt. Lot 269	0.21	0.21	0.085	Gregory Anger & Samantha Tofflemire	\$ -	\$ 54.00	\$ 54.00
202	560-02453	STR	Pt. Lot 269	0.21	0.21	0.085	Wayne & Ellen Hyland	\$ -	\$ 54.00	\$ 54.00
203	560-02454	STR	Pt. Lot 269	0.20	0.20	0.081	Charles & Jennifer Tilden	\$ -	\$ 54.00	\$ 54.00
204	560-02455	STR	Pt. Lot 269	0.20	0.20	0.081	Faye St. Pierre	\$ -	\$ 54.00	\$ 54.00
205	560-02456	STR	Pt. Lot 269	0.20	0.20	0.081	Dave & Sue Maedel	\$ -	\$ 54.00	\$ 54.00
206	560-02457	STR	Pt. Lot 269	0.20	0.20	0.081	Roger Mercer & Luwana Mealing-Mercer	\$ -	\$ 54.00	\$ 54.00
207	560-02458	STR	Pt. Lot 269	0.20	0.20	0.081	Robert & Laura Kapetanov	\$ -	\$ 54.00	\$ 54.00
208	560-02459	STR	Pt. Lot 269	0.20	0.20	0.081	Ismael Oozeer & Bodeha Booze-Oozeer	\$ -	\$ 54.00	\$ 54.00
209	560-02460	STR	Pt. Lot 269	0.24	0.24	0.097	Patrick & Debra Brophy	\$ -	\$ 48.00	\$ 48.00
210	560-02461	STR	Pt. Lot 269	0.34	0.34	0.138	Harry & Bonnie Terzopoulos	\$ -	\$ 73.00	\$ 73.00
211	560-02462	STR	Pt. Lot 269	0.18	0.18	0.073	Dean & Sandra Pearson	\$ -	\$ 55.00	\$ 55.00
212	560-02463	STR	Pt. Lot 269	0.23	0.23	0.093	Keith & Elizabeth Cornell	\$ -	\$ 46.00	\$ 46.00
213	560-02464	STR	Pt. Lot 269	0.17	0.17	0.069	Joshua & Michelle Weeks	\$ -	\$ 52.00	\$ 52.00
214	560-02465	STR	Pt. Lot 269	0.17	0.17	0.069	Victoria Davison & John Hunter	\$ -	\$ 52.00	\$ 52.00
215	560-02466	STR	Pt. Lot 269	0.20	0.20	0.081	Shawn & Angie Couvillon	\$ -	\$ 54.00	\$ 54.00
216	560-02467	STR	Pt. Lot 269	0.24	0.24	0.097	Donald & Kailyn Neal	\$ -	\$ 48.00	\$ 48.00
217	560-02468	STR	Pt. Lot 269	0.24	0.24	0.097	Michael Richmond & Andrea Balkwill	\$ -	\$ 48.00	\$ 48.00
218	560-02469	STR	Pt. Lot 269	0.24	0.24	0.097	Dwane & Suzanne Osborne	\$ -	\$ 48.00	\$ 48.00
219	560-02470	STR	Pt. Lot 269	0.17	0.17	0.069	Brian Cinat & Karlea Beresh	\$ -	\$ 52.00	\$ 52.00
220	560-02471	STR	Pt. Lot 269	0.18	0.18	0.073	Glenn & Karen Quinlan	\$ -	\$ 55.00	\$ 55.00
221	560-02472	STR	Pt. Lot 269	0.18	0.18	0.073	Florence Rivest	\$ -	\$ 55.00	\$ 55.00
222	560-02473	STR	Pt. Lot 269	0.19	0.19	0.077	Dina Pantoja & Oscar Molina	\$ -	\$ 52.00	\$ 52.00
223	560-02474	STR	Pt. Lot 269	0.19	0.19	0.077	August & Lorrie Hoekstra	\$ -	\$ 52.00	\$ 52.00
224	560-02475	STR	Pt. Lot 269	0.19	0.19	0.077	Dennis & Catherine Dugdale	\$ -	\$ 52.00	\$ 52.00
225	560-02476	STR	Pt. Lot 269	0.19	0.19	0.077	Karen Allen	\$ -	\$ 52.00	\$ 52.00
226	560-02477	STR	Pt. Lot 269	0.19	0.19	0.077	Timothy Kelly & Shannon Dubai-Kelly	\$ -	\$ 52.00	\$ 52.00
227	560-02478	STR	Pt. Lot 269	0.19	0.19	0.077	Brandon Sonoski & Shania Taylor	\$ -	\$ 52.00	\$ 52.00

**4. PRIVATELY OWNED - NON-AGRICULTURAL LANDS: *Continued***

Parcel ID <u>Number</u>	Tax Roll <u>Number</u>	Con. or Plan <u>Number</u>	Lot or Part <u>of Lot</u>	Acres <u>Owned</u>	Acres <u>Affected</u>	Hectares <u>Affected</u>	<u>Owner's Name</u>	Value of <u>Benefit</u>	Value of <u>Outlet</u>	TOTAL <u>VALUE</u>
228	560-02479	STR	Pt. Lot 269	0.19	0.19	0.077	Jason & Andrea Powell	\$ -	\$ 52.00	\$ 52.00
229	560-02480	STR	Pt. Lot 269	0.19	0.19	0.077	Tarcisio & Mary-Jo Morassut	\$ -	\$ 52.00	\$ 52.00
230	560-02481	STR	Pt. Lot 269	0.19	0.19	0.077	Salvatore Peralta & Carlee Fleming	\$ -	\$ 52.00	\$ 52.00
231	560-02482	STR	Pt. Lot 269	0.19	0.19	0.077	Robert & Annette Gabriele	\$ -	\$ 52.00	\$ 52.00
232	560-02483	STR	Pt. Lot 269	0.25	0.25	0.101	Linda Fick & Nancy Kujawski	\$ -	\$ 50.00	\$ 50.00
233	560-02484	STR	Pt. Lot 269	0.22	0.22	0.089	Denis Sterling	\$ -	\$ 56.00	\$ 56.00
234	560-02485	STR	Pt. Lot 269	0.20	0.20	0.081	Jacob & Helena Froese	\$ -	\$ 54.00	\$ 54.00
235	560-02486	STR	Pt. Lot 269	0.20	0.20	0.081	Steven & Diane Doyle	\$ -	\$ 54.00	\$ 54.00
236	560-02487	STR	Pt. Lot 269	0.20	0.20	0.081	Derek & Diane Cameron	\$ -	\$ 54.00	\$ 54.00
237	560-02488	STR	Pt. Lot 269	0.18	0.18	0.073	Cindy Mills	\$ -	\$ 55.00	\$ 55.00
238	560-02489	STR	Pt. Lot 269	0.18	0.18	0.073	Mark & Tammy Clifford	\$ -	\$ 55.00	\$ 55.00
239	560-02490	STR	Pt. Lot 269	0.18	0.18	0.073	Joseph & Helga Bondy	\$ -	\$ 55.00	\$ 55.00
240	560-02491	STR	Pt. Lot 269	0.18	0.18	0.073	Richard Ferrato	\$ -	\$ 55.00	\$ 55.00
241	560-02492	STR	Pt. Lot 269	0.20	0.20	0.081	Randy & Tracey Baillargeon	\$ -	\$ 54.00	\$ 54.00
242	560-02493	STR	Pt. Lot 269	0.19	0.19	0.077	Robert & Julie Wilson	\$ -	\$ 52.00	\$ 52.00
243	560-02494	STR	Pt. Lot 269	0.19	0.19	0.077	Daniel & Melissa Langis	\$ -	\$ 52.00	\$ 52.00
244	560-02495	STR	Pt. Lot 269	0.19	0.19	0.077	David & Irene Doody	\$ -	\$ 52.00	\$ 52.00
245	560-02496	STR	Pt. Lot 269	0.19	0.19	0.077	William & Natalie Simon	\$ -	\$ 52.00	\$ 52.00
246	560-02497	STR	Pt. Lot 269	0.22	0.22	0.089	Craig & Jennifer Newman	\$ -	\$ 56.00	\$ 56.00
247	560-02498	STR	Pt. Lot 269	0.29	0.29	0.117	Lizabeth Matte	\$ -	\$ 78.00	\$ 78.00
248	560-02499	STR	Pt. Lot 269	0.17	0.17	0.069	Richard Dunn	\$ -	\$ 52.00	\$ 52.00
249	560-02500	M100	Lot 1	0.36	0.36	0.146	William & Cheryl Carmichael	\$ -	\$ 82.00	\$ 82.00
250	560-02501	STR	Pt. Lot 269	0.19	0.19	0.077	Derek & Kristen Freeman	\$ -	\$ 52.00	\$ 52.00
251	560-02503	STR	Pt. Lot 269	0.17	0.17	0.069	Dean & Patricia Dame	\$ -	\$ 52.00	\$ 52.00
252	560-02504	STR	Pt. Lot 269	0.17	0.17	0.069	Arthur Delaney	\$ -	\$ 52.00	\$ 52.00
253	560-02505	STR	Pt. Lot 269	0.17	0.17	0.069	Ted & Carleen Hunter	\$ -	\$ 52.00	\$ 52.00
254	560-02506	STR	Pt. Lot 269	0.17	0.17	0.069	Brian & Lynn Higgins	\$ -	\$ 52.00	\$ 52.00
255	560-02507	STR	Pt. Lot 269	0.17	0.17	0.069	Coreen Sykes & Paul Epp	\$ -	\$ 52.00	\$ 52.00
256	560-02508	STR	Pt. Lot 269	0.17	0.17	0.069	Christopher & Mallory Branov	\$ -	\$ 52.00	\$ 52.00
257	560-02509	STR	Pt. Lot 269	0.17	0.17	0.069	Andy & Christine Faraci	\$ -	\$ 52.00	\$ 52.00

**4. PRIVATELY OWNED - NON-AGRICULTURAL LANDS: *Continued***

Parcel ID <u>Number</u>	Tax Roll <u>Number</u>	Con. or Plan <u>Number</u>	Lot or Part <u>of Lot</u>	Acres <u>Owned</u>	Acres <u>Affected</u>	Hectares <u>Affected</u>	<u>Owner's Name</u>	Value of <u>Benefit</u>	Value of <u>Outlet</u>	TOTAL <u>VALUE</u>
258	560-02510	STR	Pt. Lot 269	0.17	0.17	0.069	Margaret Mccord	\$ -	\$ 52.00	\$ 52.00
259	560-02511	STR	Pt. Lot 269	0.17	0.17	0.069	Erin Livingston	\$ -	\$ 52.00	\$ 52.00
260	560-02512	STR	Pt. Lot 269	0.17	0.17	0.069	Ronan & Melanie Oliver	\$ -	\$ 52.00	\$ 52.00
261	560-02513	STR	Pt. Lot 269	0.17	0.17	0.069	John & Carol Quinn	\$ -	\$ 52.00	\$ 52.00
262	560-02600	TRS	Pt. Lot 269	0.49	0.49	0.198	Ricky & Brenda Garant	\$ -	\$ 95.00	\$ 95.00
263	560-02601	STR	Pt. Lot 269	0.35	0.35	0.142	Kenneth & Rosemary Roadhouse	\$ -	\$ 79.00	\$ 79.00
264	560-02620	STR	Pt. Lot 269	0.39	0.39	0.158	Maria Klaas	\$ -	\$ 56.00	\$ 56.00
266	560-02660	STR	Pt. Lot 269	2.07	2.07	0.838	Town of Kingsville	\$ -	\$ 290.00	\$ 290.00
267	560-02700	STR	Pt. Lot 269	0.64	0.64	0.259	Gary & Maria Klaas	\$ -	\$ 108.00	\$ 108.00
269	560-02900	TRS	Pt. Lot 269	0.54	0.54	0.219	David Parise & Ryan McLeod	\$ -	\$ 141.00	\$ 141.00
270	560-02901	STR	Pt. Lot 268	0.46	0.46	0.186	Essex County Community Living	\$ -	\$ 112.00	\$ 112.00
271	560-02902	STR	Pt. Lot 268	0.46	0.46	0.186	John & Michelle Ivanisko	\$ -	\$ 112.00	\$ 112.00
273	560-03001	STR	Pt. Lot 268	0.83	0.83	0.336	Dennis Mostoway & Dawn Reaume	\$ -	\$ 162.00	\$ 162.00
274	560-03100	STR	Pt. Lot 268	1.00	1.00	0.405	Mark Voligny & Michelle Winger	\$ -	\$ 191.00	\$ 191.00
275	560-03101	STR	Pt. Lot 268	0.69	0.69	0.279	Preston Harris & Germaine Gould	\$ -	\$ 170.00	\$ 170.00
277	560-03300	STR	Pt. Lot 268	1.89	1.89	0.765	Beverley & Kristine Iles	\$ -	\$ 293.00	\$ 293.00
278	560-03350	STR	Pt. Lot 268	0.46	0.46	0.186	Pedro & Aganetha Dyck	\$ -	\$ 90.00	\$ 90.00
282	560-03520	STR	Lot 268	1.24	1.24	0.502	Nicholas & Erin Hayes	\$ -	\$ 197.00	\$ 197.00
285	560-03800	STR	Pt. Lot 267	0.48	0.48	0.194	Peter & Elizabeth Peters	\$ -	\$ 101.00	\$ 101.00
286	560-03900	TRS	Pt. Lot 267	0.42	0.42	0.170	Cody Haynes	\$ -	\$ 89.00	\$ 89.00
288	560-04100	STR	Pt. Lot 267	0.75	0.75	0.304	Rita & Ralph Wigle	\$ -	\$ 120.00	\$ 120.00
<b>Total on Privately Owned - Non-Agricultural Lands.....</b>								<b>\$ 43,122.00</b>	<b>\$ 19,312.00</b>	<b>\$ 62,434.00</b>

**5. PRIVATELY OWNED - AGRICULTURAL LANDS (grantable):**

Parcel ID <u>Number</u>	Tax Roll <u>Number</u>	Con. or Plan <u>Number</u>	Lot or Part <u>of Lot</u>	Acres <u>Owned</u>	Acres <u>Affected</u>	Hectares <u>Affected</u>	<u>Owner's Name</u>	Value of <u>Benefit</u>		Value of <u>Outlet</u>		<b>TOTAL VALUE</b>
								\$	\$	\$	\$	
1	460-00700	6	Pt. Lot 1	50.00	25.00	10.117	Andre & Colette Cazabon	\$	38.00	\$	18.00	\$ 56.00
3	460-00702	6	Pt. Lot 1	49.03	49.03	19.842	Richard & Donna Valenciuk	\$	42,971.00	\$	1,582.00	\$ 44,553.00
4	460-00800	6	Pt. Lot 2	47.29	32.29	13.068	Burstyn Farms Ltd.	\$	44.00	\$	20.00	\$ 64.00
7	460-00900	6	Pt. Lot 2	48.20	33.20	13.436	Matthew Hyland	\$	49.00	\$	21.00	\$ 70.00
10	460-01000	6	Pt. Lot 3	99.54	14.54	5.884	Stephen Ferguson	\$	51.00	\$	1,103.00	\$ 1,154.00
12	460-01200	6	Pt. Lot 4	49.60	20.10	8.134	Joslyne Rizza	\$	51.00	\$	1,254.00	\$ 1,305.00
14	460-01300	6	Pt. Lot 4	97.91	17.91	7.248	Lawrence & Joseph Miehls	\$	47.00	\$	1,122.00	\$ 1,169.00
16	460-01400	6	Pt. Lot 5	99.55	19.95	8.074	Ronald & Karen Kendrick	\$	54.00	\$	1,252.00	\$ 1,306.00
18	460-01504	6	Pt. Lot 5	49.47	8.94	3.618	Edward Ross	\$	22.00	\$	519.00	\$ 541.00
20	460-01511	6	Pt. Lot 5	50.58	10.05	4.067	Edward Ross	\$	27.00	\$	633.00	\$ 660.00
21	460-01600	6	Pt. Lot 6	98.53	18.53	7.499	Davin & Nicole Kendrick	\$	50.00	\$	1,365.00	\$ 1,415.00
22	460-01700	6	Pt. Lot 6	49.08	20.00	8.094	Henry Renaud	\$	55.00	\$	1,356.00	\$ 1,411.00
23	490-00800	6	Pt. Lots 8 & 9	200.00	102.00	41.279	Milton Hillier	\$	123.00	\$	6,059.00	\$ 6,182.00
24	490-01300	7	Pt. Lot 8	50.00	50.00	20.235	James Ferguson	\$	127.00	\$	3,099.00	\$ 3,226.00
25	490-01400	7	Pt. Lot 8	40.00	40.00	16.188	James & Diane Ferguson	\$	-	\$	2,786.00	\$ 2,786.00
26	490-01500	7	Pt. Lot 8	62.59	41.00	16.592	Brent & Michelle Ramsay	\$	-	\$	2,729.00	\$ 2,729.00
27	490-01700	7	Pt. Lot 9	54.69	54.69	22.133	Donna & Steven Merritt	\$	18.00	\$	3,390.00	\$ 3,408.00
28	490-01800	7	Pt. Lots 9 and 10	59.71	59.71	24.164	Donna & Steven Merritt	\$	157.00	\$	3,716.00	\$ 3,873.00
29	490-01900	6	Pt. Lot 7	97.51	14.00	5.666	Neil & Sharla Ferguson	\$	58.00	\$	1,020.00	\$ 1,078.00
32	490-02100	6	Pt. Lot 8	66.70	34.70	14.043	Dorothy & Laurence Merritt	\$	48.00	\$	2,402.00	\$ 2,450.00
33	490-02200	6	Pt. Lot 8	1.37	1.37	0.554	Laurence & Dorothy Merritt	\$	6.00	\$	302.00	\$ 308.00
34	490-02300	6	Lot 9 & Pt. Lot 10	103.25	66.25	26.811	Stevan Barisic	\$	90.00	\$	4,135.00	\$ 4,225.00
35	500-00101	7	Pt. Lot 7	44.73	44.73	18.102	Cottam Radiator Ltd. & James Ferguson	\$	63.00	\$	2,858.00	\$ 2,921.00
37	500-00150	7	Pt. Lot 7	50.59	25.50	10.320	James & Jeannette Sylvestre	\$	31.00	\$	1,614.00	\$ 1,645.00
40	500-00250	7	Pt. Lot 7	50.25	24.38	9.866	James Sylvestre	\$	27.00	\$	1,557.00	\$ 1,584.00
42	500-00400	7	Pt. Lot 6	71.55	50.00	20.235	David & Debbie Alexander	\$	36.00	\$	3,154.00	\$ 3,190.00
43	500-00500	7	Pt. Lot 6	88.47	88.47	35.803	David & Jason Alexander	\$	65.00	\$	5,833.00	\$ 5,898.00
46	500-00700	7	Pt. Lot 5	48.70	48.70	19.709	Richard & Phyllis Barnett	\$	51.00	\$	3,300.00	\$ 3,351.00
48	500-00900	7	Pt. Lot 5	25.00	25.00	10.117	Michael & Patricia Hamlin	\$	62.00	\$	2,299.00	\$ 2,361.00

**5. PRIVATELY OWNED - AGRICULTURAL LANDS (grantable): *Continued***

Parcel ID <u>Number</u>	Tax Roll <u>Number</u>	Con. or Plan <u>Number</u>	Lot or Part <u>of Lot</u>	Acres <u>Owned</u>	Acres <u>Affected</u>	Hectares <u>Affected</u>	<u>Owner's Name</u>	Value of <u>Benefit</u>	Value of <u>Outlet</u>	TOTAL <u>VALUE</u>
49	500-01000	7	Pt. Lot 4	120.49	86.00	34.804	Robert & Jerry Vriesacker	\$ 120.00	\$ 5,137.00	\$ 5,257.00
51	500-01100	7	Pt. Lot 3	50.00	50.00	20.235	Brian & Dorene Lester	\$ 61.00	\$ 2,514.00	\$ 2,575.00
54	500-01202	7	Pt. Lot 3	46.85	46.85	18.960	Karen & Adam Schmitchen	\$ 44.00	\$ 2,923.00	\$ 2,967.00
56	500-01400	7	Pt. Lot 2	45.00	45.00	18.211	Bradley & Ruth Salter	\$ 41.00	\$ 2,874.00	\$ 2,915.00
58	500-01600	7	Pt. Lot 2	24.18	24.18	9.786	Sharon & Eric Mulcaster	\$ 27.00	\$ 1,513.00	\$ 1,540.00
61	500-01800	7	Pt. Lots 1 & 2	48.00	42.00	16.997	Todd Gee & Kelly Dunn	\$ 60.00	\$ 2,661.00	\$ 2,721.00
63	500-02900	7	Pt. Lot 5	74.48	56.50	22.865	Robert & David Alexander	\$ -	\$ 3,532.00	\$ 3,532.00
64	500-03000	7	Pt. Lot 5	47.93	28.17	11.400	Donald & Cora Bertram	\$ -	\$ 1,765.00	\$ 1,765.00
65	500-03100	7	Pt. Lot 6	34.50	11.00	4.452	Jason & Laura Alexander	\$ -	\$ 691.00	\$ 691.00
66	500-03300	7	Pt. Lot 7	48.98	30.00	12.141	Stekle Farms Limited	\$ -	\$ 1,902.00	\$ 1,902.00
71	560-00500	STR	Pt. Lot 267	64.76	34.76	14.067	John & David Bachtold	\$ 43.00	\$ 2,367.00	\$ 2,410.00
72	560-00600	STR	Pt. Lot 267	25.10	25.10	10.158	Larry & Tammy Meloche	\$ 32.00	\$ 1,737.00	\$ 1,769.00
73	560-00700	STR	Pt. Lot 267	24.50	24.50	9.915	John & David Bachtold	\$ 28.00	\$ 1,534.00	\$ 1,562.00
77	560-00900	STR	Pt. Lot 268	50.00	50.00	20.235	Chevalier Farms & Elevator Ltd.	\$ 66.00	\$ 2,893.00	\$ 2,959.00
78	560-01000	STR	Pt. Lot 269	90.07	90.07	36.451	Richard & Sharon Kendrick	\$ 19.00	\$ 5,500.00	\$ 5,519.00
79	560-01002	STR	Pt. Lot 269	6.98	6.98	2.825	Richard & Sharon Kendrick	\$ -	\$ 434.00	\$ 434.00
268	560-02800	STR	Pt. Lot 269	11.13	11.13	4.504	Jacob & Yola Pretli	\$ -	\$ 954.00	\$ 954.00
276	560-03200	STR	Pt. Lot 268	45.31	45.31	18.337	Margery Macgregor	\$ -	\$ 2,830.00	\$ 2,830.00
280	560-03420	STR	Pt. Lot 268	22.23	22.23	8.996	Leo Hayes	\$ -	\$ 1,391.00	\$ 1,391.00
281	560-03500	STR	Pt. Lot 268	71.89	71.89	29.093	Charles & Craig Chevalier	\$ 53.00	\$ 4,117.00	\$ 4,170.00
284	560-03700	TRS	Pt. Lot 267	25.00	25.00	10.117	George Newman	\$ -	\$ 2,614.00	\$ 2,614.00
287	560-04000	STR	Pt. Lot 267	18.50	18.50	7.487	Gerald & Iris Pillon	\$ -	\$ 1,182.00	\$ 1,182.00
289	560-04200	STR	Pt. Lot 267	24.24	24.24	9.810	Milka Jezdic	\$ -	\$ 1,570.00	\$ 1,570.00
<b>Total on Privately Owned - Agricultural Lands (grantable).....</b>								<b>\$ 45,015.00</b>	<b>\$ 115,133.00</b>	<b>\$ 160,148.00</b>

**5. PRIVATELY OWNED - AGRICULTURAL LANDS (non-grantable):**

Parcel ID <u>Number</u>	Tax Roll <u>Number</u>	Con. or Plan <u>Number</u>	Lot or Part <u>of Lot</u>	Acres <u>Owned</u>	Acres <u>Affected</u>	Hectares <u>Affected</u>	<u>Owner's Name</u>	Value of <u>Benefit</u>		Value of <u>Outlet</u>		<b>TOTAL VALUE</b>
11	460-01100	6	Pt. Lot 3	99.54	14.54	5.884	Marian Maslin	\$	51.00	\$	904.00	\$ 955.00
265	560-02653	STR	Pt. Lot 269	24.25	24.25	9.814	1575742 Ontario Ltd.	\$	-	\$	953.00	\$ 953.00
272	560-03000	STR	Pt. Lot 268	10.01	10.01	4.051	Justin Ireland & Jamie Meunier	\$	-	\$	671.00	\$ 671.00
279	560-03400	STR	Pt. Lot 268	3.38	3.38	1.368	Leo Hayes	\$	-	\$	276.00	\$ 276.00
283	560-03600	STR	Pt. Lot 268	7.25	7.25	2.934	Daniel & Jenny Nantais	\$	-	\$	428.00	\$ 428.00
<b>Total on Privately Owned - Agricultural Lands (non-grantable).....</b>								<b>\$</b>	<b>51.00</b>	<b>\$</b>	<b>3,232.00</b>	<b>\$ 3,283.00</b>
<b>TOTAL ASSESSMENT</b>				<b>2179.42</b>	<b>881.998</b>			<b>\$</b>	<b>89,413.00</b>	<b>\$</b>	<b>174,741.00</b>	<b>\$ 264,154.00</b>

1 Hectare = 2.471 Acres

# **SPECIFICATIONS**

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**PROJECT**

**7th Concession Drain**

Replacement Bridge for Richard & Donna Valenciuk,  
(460-00701 & 460-00702),  
Part of Lot 1, Concession 6  
(Geographic Township of Gosfield North  
Town of Kingsville, County of Essex  
**Project No. D22-067**

**I. GENERAL SCOPE OF WORK**

The Contractor is advised that the work proposed under this project consists of the replacement of an existing access bridge within the 7th Concession Drain, serving as a shared access to the agricultural and residential lands of Richard & Donna Valenciuk (760-00701 & 460-00702), Part of Lot 1, Concession 6, and located at 3486 County Road 23 (Arner Townline). The scope of work provided under this project shall include, but not necessarily be limited to the following: the removal of the existing concrete and steel bridge deck and abutments; replacement with a new bridge structure, granular backfill, transition areas, interlocking concrete block headwalls with daylighting and concrete footings, general sloped quarried limestone erosion protection and adjacent to the new headwalls, and all ancillary work including clean up and restoration required. Two (2) bridge structure options are being proposed under this project as follows:

1. Galvanized Corrugated Steel Multi-Plate 36N-4228mm Span x 3206mm Rise, 4.0mm thick, Low Profile Arch with corrugated steel footer plates.
2. Concrete Box Culvert 3600mm Span x 1800mm Rise with apron walls.

It shall be noted that the final selection of the bridge structure will depend on the overall cost together with the anticipated timelines for completion of each.

The proposed work is intended to address the replacement of the existing access bridge and provide 6.78 metres (22.24 ft.) of travelled driveway top width, all to the satisfaction of the Drainage Superintendent and/or Consulting Engineer. The location of the access bridge shall be the exact designated location as shown on the plan unless otherwise directed by the Property Owner in conjunction with the Drainage Superintendent, prior to construction of same. Any changes to the location of the new access bridge must be approved in writing by the Consulting Engineer.

All work shall be carried out in accordance with these specifications and serve to supplement and/or amend the current Ontario Provincial Standard Specifications and Standard Drawings, adopted by the Ontario Municipal Engineers Association. All work shall also comply in all regards with the ERCA correspondence and DFO Culvert Replacement Best Management Practices within **Appendix "A"** as well as the Geotechnical Exploration and Testing Program included in **Appendix "B"**. The works shall also be carried out in accordance with the plans labelled herein as **Appendix "C"**. The structure shall be of the size, type, depth, etc., as is shown in the accompanying drawings, as determined from the **Benchmark**, and as may be further laid out at the site at the time of construction. All work carried out under this project shall be completed to the satisfaction of the Drainage Superintendent and/or the Consulting Engineer.

## **II. ERCA AND DFO CONSIDERATIONS**

The Contractor will be required to implement stringent erosion and sedimentation controls during the course of the work to minimize the amount of silt and sediment being carried downstream into the Snyder Branch Drain. It is intended that the work on this project be carried out during relatively dry weather to ensure the proper site and drain conditions and to avoid conflicts with sediment being deposited into the outlet drainage systems. All disturbed areas shall be restored as quickly as possible with grass seeding and mulching installed to ensure a protective cover and to minimize any erosion from the work site subsequent to the bridge installation. The Contractor shall be required to provide temporary silt fencing and straw bales as outlined further in these specifications.

All of the work shall be carried out in accordance with any permits or authorizations issued by the Essex Region Conservation Authority (ERCA) or the Department of Fisheries and Oceans (DFO), copies of which will be provided, if available. Typically, no work shall be carried out in the existing drain from March 15 to July 15, of any given year, because the drain is directly connected to the downstream drain that is classified as sensitive to impacts on aquatic life. However, the 7th Concession Drain has been established as a Class "F" Drain by the DFO and works can be conducted within this drain through this timing window, so long that authorization is obtained and the Contractor complies with the "Best Management Practices – Culvert Replacements in Municipal Drains" document prepared by the DFO.

As part of its work, the Contractor shall implement the following measures that shall ensure that any potential adverse effects on fish and fish habitat will be mitigated:

- a) As per standard requirements, work will not be conducted at times when flows in the drain are elevated due to local rain events, storms, or seasonal floods. Work shall be done in the dry.
- b) All disturbed soils on the drain banks and within the channel, including spoil, must be stabilized immediately upon completion of work. The restoration of the site must be completed to a like or better condition than what existed prior to the works. The spoil material must be hauled away and disposed of at a suitable site or spread an appropriate distance from the top of the drain bank to ensure that it is not washed back into the drain.
- c) To prevent sediment entry into the Drain, in the event of an unexpected rainfall, silt barriers and/or traps must be placed in the channel during the works and until the site has been stabilized. All sediment and erosion control measures are to be in accordance with related Ontario Provincial Standards. It is incumbent on the proponent and their contractors to ensure that sediment and erosion control measures are functioning properly and are maintained/upgraded as required.
- d) Silt or sand accumulated in the barrier traps must be removed and stabilized on land once the site is stabilized.
- e) All activities including maintenance procedures should be controlled to prevent the entry of petroleum products, debris, rubble, concrete, or other deleterious substances into the water. Vehicular refuelling and maintenance should be conducted away from the water.

Not only shall the Contractor comply with all of the above, but it shall also be required to further comply with correspondence included within the email from Ashley Gyori, of the ERCA. Furthermore, the Contractor shall also review and comply with the "Best Management Practices – Culvert Replacements in Municipal Drains" document prepared by the DFO, both of which have been included within **Appendix "A"**.

### **III. MECP CONSIDERATIONS**

Under the Species at Risk Provincial Legislation, set in place with the Ministry of Environment, Conservation and Parks (MECP), Section 23.9 of the Endangered Species Act, 2007, allows the Municipality to conduct eligible repair, maintenance, and improvement work under the Drainage Act that exempts these works from Sections 9 and 10 of this Act, so long as they follow the rules within Ontario Regulation 242/08.

Prior to commencing work, the Town of Kingsville will complete an "Endangered Species Act Review" for the subject drain and will provide the Contractor with the results of said review, including Kingsville documents for the purpose of identification of known Species at Risk within the project area and mitigation measures for species and habitat protection. It is the responsibility of the Contractor to make certain that necessary provisions are undertaken to ensure the protection of all Species at Risk and their habitats throughout the course of construction.

The Contractor will be responsible for providing the necessary equipment and materials required by the mitigation plans and shall contact the Town of Kingsville's Drainage Superintendent immediately if any Endangered Species are encountered during construction.

### **IV. WATER CONTROL AND DEWATERING PLAN**

In addition to the "Best Management Practices – Culvert Replacements in Municipal Drains" prepared by DFO, the Contractor shall be responsible to provide a suitable water control plan and dewatering method for this project. These features are intended to prevent from stormwater runoff backing up in the system and creating elevated water elevations or flooding within the drainage system.

The Contractor shall satisfy themselves with the methods and materials used for the water control and dewatering plan. Under no circumstances shall the Town or Consulting Engineer be responsible for the installation, maintenance, design, or failure of these features. All costs associated with the water control plan and dewatering shall form part of the tender price. Under no circumstances shall an extra be issued for the installation and/or maintenance of any water control or dewatering plan.

The Contractor shall ensure the work site is dry and free of flow and standing water. Depending on the method of installation, it is recommended that the work site be isolated utilizing a temporary 1.0-metre-high clay dam with erosion protection topping erected at each end of the work site, at a minimum. These temporary dams shall be constructed of clay fill material. We noted that there was a minimal amount of base flow in the drain during our site investigations. However, if the accumulation of base flow within the drain exceeds the berm height, base flow conveyance may be required utilizing appropriately sized HDPE smoothwall bell and gasket pipes through the work site and embedded in the clay dams. These pipes will allow for the work to be completed in the dry around or through the base of the new bridge. In lieu of the conveyance pipes, suitably sized pumps may be utilized to pump runoff around/through the work site. The

clay dams and conveyance pipe shall be maintained by the Contractor on the site until all works needed to be done in the dry are completed. The silt fences shall be maintained by the Contractor on the site until the entire site has become stabilized.

When dewatering the site area, the Contractor shall monitor the area for any fish found within the work site. If any fish are found, the Contractor shall carefully relocate them to the downstream drain as soon as possible.

The Contractor will be expected to coordinate the construction of the site with forecasted good weather conditions and delay its work if unstable weather is predicted. Should a small rain event occur, the temporary clay dams and pipe conveyance system should be able to handle a slight increase in the flow rate. Should a larger storm event occur, the dam will overflow and flood the work site. In the event that the work site is flooded, the Contractor shall not proceed with any further works until the site has been pumped of flood water and the site is dry.

#### **V. ACCESS TO WORK AND TRAFFIC CONTROL**

The Contractor is advised that all of the work to be carried out on this project extends along the east side of County Road 23 (Arner Townline). The Contractor shall have access to the full width of the roadway abutting the proposed drainage works. The Contractor may use the entire width of the roadway right-of-way necessary to permit the completion of all the work required to be completed for this project.

**It shall be noted that the Contractor is to provide continuous pedestrian access to the parcel throughout the construction period and such access must be coordinated with the Property Owner.**

The Contractor shall ensure that the travelling public is always protected while utilizing the roadway for its access. The Contractor shall be required to carry out all the necessary steps to direct traffic and provide temporary diversion of traffic around work sites, including the provision of all lights, signs, flag persons, and barricades required to protect the safety of the travelling public. The Contractor shall be required to submit a Traffic Control Plan to the Consulting Engineer for approval from the governing Road Authorities. The Traffic Control Plan shall be carried out in accordance with the requirements of the Ontario Traffic Manual's Book 7 for Temporary Conditions. It is not anticipated that the Contractor will require the closure of County Road 23. However, should the Contractor have to close County Road 23 for the proposed works, it shall arrange to obtain the necessary authorizations from the Town of Kingsville and the County of Essex Roads Departments and distribute notification of detours around the site. The Contractor shall also ensure that all emergency services, school bus companies, etc. are contacted about the disruption to access at least 48 hours in advance of same. All detour routes shall be established in consultation with the Town and County Roads Department.

Throughout the course of the work, it is imperative that the Contractor protect as much landscaping and vegetation as possible when accessing alongside the drain. This shall be of particular concern along the lawn areas of residential properties. Any accesses or areas used in carrying out the works are to be fully restored to their original conditions by the Contractor, including topsoil placement and lawn restoration as directed by the Drainage Superintendent and/or the Consulting Engineer. Restoration shall include but not be limited to all necessary levelling, grading, shaping, topsoil, seeding and mulching, and granular placement required to make good any damage caused.

## **VI. REMOVAL OF BRUSH, TREES AND RUBBISH**

Where there is any brush, trees or rubbish along the course of the drainage works, including the full width of the work access, all such brush, trees or rubbish shall be close-cut and grubbed out, and the whole shall be chipped up for recycling, burned or otherwise satisfactorily disposed of by the Contractor. The brush and trees removed along the course of the work are to be put into piles by the Contractor in locations where they can be safely chipped and disposed of, or burned by it, or hauled away and disposed of by the Contractor to a site to be obtained by it at its expense. Prior to and during the course of any burning operations, the Contractor shall comply with the guidelines prepared by the Air Quality Branch of the Ontario Ministry of the Environment and shall ensure that the Environmental Protection Act is not violated. The Contractor will be required to notify the local fire authorities and cooperate with them in the carrying out of any work. The removal of brush and trees shall be carried out in close consultation with the Drainage Superintendent or Consulting Engineer to ensure that no decorative trees or shrubs are disturbed by the operations of the Contractor that can be saved. It is the intent of this project to save as many trees and bushes as practical within the roadway allowances and on private lands.

The Contractor shall protect all other trees, bushes, and shrubs located along the length of the drainage works except for those trees that are established, in consultation with the Drainage Superintendent, the Consulting Engineer, and the Owners, to be removed as part of the works. The Contractor shall note that protecting and saving the trees may require the Contractor to carry out hand work around the trees, bushes, and shrubs to complete the necessary final site grading and restoration.

Following the completion of the work, the Contractor is to trim up any broken or damaged limbs on trees which are to remain to stand, and it shall dispose of said branches along with other brush, thus leaving the trees in a neat and tidy condition.

The Contractor shall remove all deleterious materials and rubbish along the course of the open drain while carrying out its cleaning of same. All such deleterious materials and rubbish shall be loaded up and hauled away by the Contractor to a site to be obtained by it at its cost.

## **VII. UTILITIES**

The culvert shall be laid in the general location shown on the accompanying drawings or may be specifically directed and/or laid out by the Consulting Engineer at the time of construction. The Contractor shall note that utilities may be present in the vicinity of the new access bridge installation. These utilities have been identified within the design drawings. However, the accuracy of the utilities shown is not guaranteed by the owner or N.J. Peralta Engineering Ltd. Other utilities may be present or utilities have shown may differ in size or location. The Contractor shall ensure that the utility locates are requested prior to any excavation work on this project.

The Contractor shall protect all services located in the vicinity of the proposed drainage works including any sanitary sewers and connections, watermains and connections, telephone and gas services, along with any private systems and services. Any damaged components shall be replaced by the Contractor, totally at its own expense and it shall fully restore the functionality of same.

The Contractor shall further contact or notify such Utility Company or Commission of its intention to carry out work in the area and cooperate with such Utility Company or Commission in the location, maintenance and preservation of all such utilities. The location of the pipes and appurtenances as shown on the drawings is approximate and may be changed by the Consulting Engineer if deemed advantageous for the progress of the work. The trenches are to be excavated where directed. If any part of the bottom of the trench is found to be unsound or in any way unsuitable to lay the pipe in the Drainage Superintendent's or the Engineer's Opinion, it may direct that the location of said trench be changed if it is possible to avoid unsound soil by doing so.

#### **VIII. FENCING**

Where it is necessary to take down any fence to proceed with the work, the same shall be done by the Contractor across or along that portion of the work where such fence is located. The Contractor will be required to exercise extreme care in the removal of any fencing so as to cause a minimum of damage to same. The Contractor will be required to replace any fence that is taken down in order to proceed with the work, and the fence shall be replaced in a neat and workmanlike manner. The Contractor will not be required to procure any new materials for rebuilding the fence provided that it has used reasonable care in the removal and replacement of same. When any fence is removed by the Contractor, and the Owner thereof deems it advisable and procures new material for replacing the removed fence, the Contractor shall replace the fence using the new materials and the materials from the present fence shall remain the property of the Owner.

#### **IX. BENCHMARKS**

For use by the Contractor, we have established Benchmarks at the location where the structures are being replaced. The plans include details illustrating the work to be carried out. Benchmarks have been indicated and the Elevations have been shown and shall be utilized by the Contractor in carrying out its work. The Contractor shall note that a specific design elevation grade has been provided for the invert (or top of footing elevations) at each end of the structure in the table on the plans and within these specifications. The tables also set out the structure size, materials, and other requirements relative to the installation of the bridge structure. In all cases, the Contractor is to utilize the specified information to set the new structure installation. The Contractor shall ensure that it takes note of the direction of flow and sets the pipe to assure that all grades flow from north to south to match the direction of flow within the drain.

#### **X. EXCAVATING, REMOVALS, AND DISPOSAL**

In order to facilitate the new bridge culvert, the Contractor shall be required to carefully remove the existing concrete deck, east abutment, and any headwalls in their entirety, as well as any other deleterious materials that may be encountered in removing these materials. The existing west concrete abutment may remain so long that it does not interfere with the installation of the new bridge structure. The Contractor shall also be required to completely dispose of all of these materials to a site to be obtained by it at its own expense. It is found that the west abutment may remain in place, so long that it does not interfere with the installation of the new bridge structure.

As part of the work, the Contractor shall be required to excavate, transition, and trim the east side slopes and drain bottom width for a maximum distance of 8.75 metres (28.71 ft.) and 17.00 metres (55.77 ft.) upstream and downstream of the bridge, respectively, as outlined within the accompanying plans. Under no circumstance shall the sediment material from this excavation be utilized for the backfilling of the culvert, and such material must be totally trucked away and disposed of at a site to be obtained by it at its own expense.

All unsuitable and deleterious materials from the excavation and removal of the existing bridge culvert and drain shall be hauled away and disposed of by the Contractor to a site to be obtained by it at its expense. Likewise, any material excavated to allow for the granular approaches to the bridge, driveway transitions, or installation of new end walls shall also be hauled away and disposed of by the Contractor.

## **XI. DETAILS OF BRIDGE WORK**

The Contractor shall provide all material, labour and equipment to replace and install a new access bridge, for Richard & Donna Valenciuk (460-00701 & 460-00702), Part of 1, Concession 6, within the 7th Concession Drain. As previously noted, we have provided two (2) design options for this access bridge replacement. The Contractor shall provide all material, labour, and equipment to construct the replacement access bridge with the specifications stated below.

<b>Multi-Plate Arch Structure Specifications</b>	
Culvert Type:	Multi-Plate Low Profile Galvanized Arch
Structure Length:	8.00 metres
Structure Diameter:	36N – 4228mm x 3206mm with 1590mm Wide, 18.0mm Thick, Corrugated Steel Footer Plates
Structure Gauge:	4.0mm
Structure Grade:	n/a
Upstream (North) Top of Footing Elevation:	188.755 metres
Downstream (South) Top of Footing Elevation:	188.755 metres
Manufacturer:	Plant certified by CSA Standard G401-14 or OPSS 1801
Embedment:	n/a
Headwall Type:	Interlocking concrete block headwalls with daylighting and concrete footings
Access Width (incl. headwalls):	8.00 metres (26.25 ft.)
Access Width (travelled driveway):	6.78 metres (22.24 ft.)
€ of Driveway Elev. at € of Gravel Shoulder:	192.814 metres

£ of Driveway Elev. at Structure £:	192.775 metres
£ of Driveway Elev. 7.5m east of ROW Limit:	192.424 metres
Crossfall Grade from Driveway £ to Outer End Walls	1.00%

The new structure, for this installation, is to be provided with a minimum depth of cover of 700mm (27.6"), measured from the top of the structure to the finished driveway elevation over the centre of the structure. If the bridge culvert is placed at its proper elevation, the cover depth should be achieved. If the Contractor finds that the minimum depth of cover is not being met, they shall notify the Drainage Superintendent and Consulting Engineer immediately so steps can be taken to rectify the condition prior to the placement of any backfill. The above-specified minimum requirement is critical and must be attained. In order for the new residential access bridge to properly fit the channel parameters, all of the design grade elevations listed in the table above must be strictly adhered to.

Concrete Box Culvert Structure Specifications	
Culvert Type:	Concrete Box Culvert
Structure Length:	8.00 metres
Structure Diameter:	3600mm x 1800mm
Structure Gauge:	n/a
Structure Grade:	n/a
Upstream (North) Invert Elevation:	189.595 metres
Downstream (South) Invert Elevation:	189.595 metres
Manufacturer:	Precast Plants Certified by CSA Standard A23.1 or by OPSS 1821
Embedment:	200mm (11.1%)
Headwall Type:	Interlocking concrete block headwalls with daylighting and concrete footings
Access Width (incl. headwalls):	8.00 metres (26.25 ft.)
Access Width (travelled driveway):	6.78 metres (22.24 ft.)
£ of Driveway Elev. at Edge of Gravel:	192.689 metres
£ of Driveway Elev. at Structure £:	192.580 metres
£ of Driveway Elev. 7.5m east of ROW Limit:	192.424 metres
Crossfall Grade from Driveway £ to Outer End Walls:	1.50%

The new structure, for this installation, is to be provided with a minimum depth of cover of 600mm (24.0"), measured from the top of the structure to the finished driveway elevation over the centre of the structure. If the bridge culvert is placed at its proper elevation, the cover depth should be achieved. If the Contractor

finds that the minimum depth of cover is not being met, they shall notify the Drainage Superintendent and Consulting Engineer immediately so steps can be taken to rectify the condition prior to the placement of any backfill. The above-specified minimum requirement is critical and must be attained. In order for the new residential access bridge to properly fit the channel parameters, all of the design grade elevations listed in the table above must be strictly adhered to.

7th Concession Drain Specifications	
Drain Grade:	0.10%
Side Slopes:	1.5 Horizontal to 1.0 Vertical
Bottom Width:	2.74 metres (9.00 ft.)
Anticipated Drain Bottom Depth:	Above the design grade

Although it is anticipated that the culvert installation shall be undertaken in the dry, the Contractor shall supply and install a temporary Straw Bale Check Dam in the drain bottom immediately downstream of the culvert site during the time of construction. The straw bale check dam shall be to the satisfaction of the Drainage Superintendent and/or Consulting Engineer and must be removed upon completion of the Construction. All costs associated with the supply and installation of this Straw Bale Check Dam shall be included in the cost bid for the bridge installation.

The culvert installation on this project shall be set to the grades and elevations as shown on the plan or as otherwise established herein and the Municipal Drainage Superintendent and/or the Consulting Engineer may make minor changes to the bridge alignment as they deem necessary to suit the site conditions.

## **XII. GALVANIZED STEEL MULTI-PLATE ARCH PIPE INSTALLATION**

The galvanized steel Multi-Plate Box Culvert to be supplied and installed for this project shall be available from Armtec, 7010 Windsor Avenue, Comber, Ontario N0P 1J0 (519-687-2338), or equal. The Armtec Regional Engineering Sales Specialist is Darren Baumer, EIT. The proposed Multi-Plate Box Culvert structure shall be a 36N-4228mm x 3206mm with 1590mm wide, 18.0mm thick, corrugated steel footer plates. The Contractor shall note that Geotechnical Explorations have been conducted for the proposed culvert replacement and shall assist the fabricator to design the proposed structure and footings to the appropriate bearing capacities for the structure, in addition to providing the Contractor with recommendations for the structure installation. The Geotechnical Report is attached herein as **Appendix "B"**. The Contractor shall arrange for the supplier to provide full shop drawings outlining all details of the fabrication and assembly and installation of the proposed corrugated steel structure to the Consulting Engineer for approval prior to proceeding with fabrication and assembly of same. **The shop drawings shall bear the seal and signature of an Engineer certifying that the design meets the minimum design standards and includes fabrication details, hardware, reinforcing schedules, etc.** The Contractor shall arrange with the supplier for technical assistance with the assembly of the structure on-site in full accordance with the requirements of the supplier. All assembly installation shall be carried out to avoid any damage to the structure and shall follow the supplier's recommendation in every respect to ensure a proper and safe installation.

The Contractor shall note that the placing of the new access bridge shall be performed totally in the dry, and he shall be prepared to take whatever steps are necessary to ensure same, all to the satisfaction of the Drainage Superintendent and the Consulting Engineer. The steel plate footing design is based on a stiff to very stiff native sand silty clay with geotechnical resistance at the Ultimate Limit State (ULS) of 175 KPa and a net geotechnical reaction at the Serviceability Limit State (SLS) of 125 KPa. If the Contractor encounters soils other than the stiff to very stiff native sand silty clay material, they shall notify the Geotechnical Consultant of their findings.

As outlined within the geotechnical recommendations, when installing the new corrugated steel Multi-Plate Arch in place, the Contractor must install the structure on a good undisturbed base. If unsound soil is encountered, the Contractor shall remove said unsound soil and replace the material with a minimum of 300mm of compacted Granular 'A' to a Minimum Standard Proctor Density of 100%, unless otherwise noted by the Geotechnical Consultant.

The Contractor shall backfill the footing trench inside the box culvert with compacted native soils to a Minimum Standard Proctor Density of 98%. The backfill material shall be sloped as shown on the Elevation plans and be protected with a minimum of 305mm thick sloped quarried limestone erosion protection on a filter cloth underlay.

Further to the details outlined above, the Contractor shall comply with any installation guidelines and/or specifications provided by the supplier. If there are any conflicting details between these specifications and the information provided by the supplier, the supplier's specifications shall govern.

The Contractor shall be responsible for the safe and proper handling of the box culverts and shall inspect all sections to ensure that no dents, chips or defects exist in the sections prior to placement in the drain line. Should the Contractor permit damaged culvert sections or materials to be installed in the drain line, it shall be responsible for the removal and replacement of same at its own expense, should the Engineer require such removal and replacement.

### **XIII. CONCRETE BOX CULVERT INSTALLATION**

The new concrete box culvert structures shall be of precast concrete box culvert type. The new concrete bridge structure shall conform to the latest version of the Canadian Highway Bridge Design Code (CHBDC) for Truck Loading and be constructed in general conformance with OPSS 1821 and designed for the available minimum cover. The installation of the concrete structure shall comply with OPSS 422 and 904, together with any other applicable references identified within these Specifications. The Contractor shall note that Geotechnical Explorations have been conducted for the proposed culvert replacement and shall assist the fabricator to design the proposed structure and footings to the appropriate bearing capacities for the structure, in addition to providing the Contractor with recommendations for the structure installation. The Geotechnical Report is attached herein as **Appendix "B"**.

The proposed structures shall include all appropriate appurtenances including, but not limited to, waterproofing, dowels, etc. or any additional appurtenances that may be deemed necessary by the structure fabricator. Generally speaking, the following materials shall be utilized for the installation of said bridge structure and the installation of same shall comply with the manufacturer's recommendations:

Reinforcing Bars: CSA G30.18M, Grade 400R new deformed bars of billet steel. Refer to OPSS 1440 for material specifications.

Waterproofing Membrane: MEL-ROL, rolled, self-adhering membrane. Protection board for waterproof membrane shall be PC-3 heavy duty asphalt board (if applicable). Both of which as manufactured by W.R. Meadows Canada, or approved equal.

Bonding Agent: Intralok as manufactured by W.R. Meadows Canada or Sikadur 32ES as manufactured by Sika Canada Inc.

Curing Compound: CS-309 acrylic curing and sealing compound as manufactured by W.R. Meadows Canada, or approved equal.

Dowel Adhesive: Meadows Rezi-Weld Gel-Paste Cartridge System, Hilti-Hit HY150 System, Sikadur Injection Gel, Powers Acrylic – 100 System or approved equal.

Penetrating Sealer: Sikagard SN40 silane sealer as manufactured by Sika Canada Inc. or approved equal. Application shall be two (2) coats at a coverage of 3.8 sq.m./L per coat.

Joint Sealant: Sikaflex 2C NS for horizontal and vertical surfaces as manufactured by Sika Canada Inc.

The Contractor shall arrange for the Supplier to provide full shop drawings outlining all details of the fabrication and assembly and installation of the proposed concrete box culvert to the Consulting Engineer for approval prior to proceeding with fabrication and assembly of same. **The shop drawings shall bear the seal and signature of an Engineer certifying that the design meets the minimum design standards and includes fabrication details, hardware, reinforcing schedules, etc.** The Contractor shall arrange with the Supplier for technical assistance with the assembly of the structure on-site in full accordance with the requirements of the Supplier. All assembly installation shall be carried out to avoid any damage to the structure and shall follow the Supplier's recommendation in every respect to ensure a proper and safe installation.

The Contractor shall note that the placing of the new access bridge shall be performed totally in the dry, and he shall be prepared to take whatever steps are necessary to ensure same, all to the satisfaction of the Drainage Superintendent and the Consulting Engineer. The steel plate footing design is based on a stiff to very stiff native sand silty clay with geotechnical resistance at the Ultimate Limit State (ULS) of 175 KPa and a net geotechnical reaction at the Serviceability Limit State (SLS) of 125 KPa. If the Contractor encounters soils other than the stiff to very stiff native sand silty clay material, they shall notify the Geotechnical Consultant of their findings.

As outlined within the geotechnical recommendations, it is recommended that the Contractor provide a base of a minimum of 300mm of compacted Granular 'A' to a Minimum Standard Proctor Density of 100%, unless otherwise noted by the Geotechnical Consultant.

The Contractor will also be responsible for excavating the necessary trench for installing a reinforced concrete apron wall at each end of the new structure. The apron walls shall be to the size, type, depth, etc., including the necessary reinforcement, as shown and detailed within the Manufacturer's Shop Drawings.

The Contractor is to note that when installing the new structure, it shall be required to excavate a trench having a width not less than the outside span distance plus a minimum of 500mm working width on both sides of the structure.

The Contractor shall be responsible for the safe and proper handling of the box culverts and shall inspect all sections to ensure that no cracks, chips or defects exist in the sections prior to placement in the drain line. Should the Contractor permit damaged culvert sections or materials to be installed in the drain line, it shall be responsible for the removal and replacement of same at its own expense, should the Engineer require such removal and replacement.

The Contractor shall lay the concrete structure to the lines, levels, and grades as shown in the accompanying drawings or as may be laid out and established by the Engineer prior to the time of construction. Prior to installation, the Contractor shall notify the Engineer for field verification of the layout. The Contractor will be held responsible for said lines, levels and grades of the structure and should the Engineer determine that the Contractor has not satisfactorily adhered to such lines, levels and grades, it may direct the Contractor to take up and re-lay any portion of the structure which does not conform to such lines, levels and grades.

#### **XIV. BRIDGE CONSTRUCTION**

All granular backfill over the bridge culvert installation shall be satisfactorily compacted in place to a minimum Standard Proctor Density of 98% by means of mechanical compaction equipment and generally conform to the backfilling details included within the accompanying drawings. Further to the backfilling details outlined within these specifications, the Contractor shall comply with any backfilling specifications provided by the supplier. If there are any conflicting details between these specifications and the information provided by the supplier, the supplier's specifications shall govern.

All other good, clean, native fill material or topsoil to be utilized, where applicable, shall be compacted in place to a minimum Standard Proctor Density of 96%. All of the backfill material, equipment used, and method of compacting the backfill material shall be provided and performed to the satisfaction of the Drainage Superintendent and/or Consulting Engineer.

The backfilling of the structure shall be implemented in 200mm loose lifts and shall be compacted on each side of the structure subsequently to ensure that the fill on each side of the structure does not differ by more than 400mm in depth.

The Contractor shall provide a granular driveway approach from the existing east edge of the travelled roadway shoulder easterly to the existing west bank of the drain. In this area, for the full width of the bridge approach driveway, and for a minimum thickness of 450mm (18"), the Contractor shall supply and install granular material MTO Type "A" OPSS Form 1010 which is to be satisfactorily compacted in place to a minimum Standard Proctor Density of 98%. This driveway approach at the northerly and southerly ends shall provide a minimum driveway turning radius of 5.0 metres facilitated by the daylighting of the precast interlocking concrete block headwalls. All of this work shall be performed to the satisfaction of the Drainage Superintendent and/or the Consulting Engineer.

The Contractor shall also perform the necessary excavation to extend the width of the driveway from the existing gravel shoulder to approximately 7.50 metres east of the right-of-way limit of County Road 23. This driveway approach for the entire length and width shall consist of a minimum of 450mm (18") of granular material M.T.O. Type "A" satisfactory compacted in place. The gravel apron shall extend for the full width of the access bridge culvert length.

Although it is anticipated that the culvert installation shall be undertaken in the dry, the Contractor shall supply and install a temporary Straw Bale Check Dam in the drain bottom immediately downstream of the culvert site during the time of construction. The straw bale check dam shall be to the satisfaction of the Drainage Superintendent and/or Consulting Engineer and must be removed upon completion of the Construction. All costs associated with the supply and installation of this Straw Bale Check Dam shall be included in the cost bid for the bridge installation.

#### **XV. PRECAST INTERLOCKING CONCRETE BLOCK HEADWALLS**

Once the new structure has been set in place, the Contractor shall construct precast interlocking concrete block headwalls at both ends of the access. The precast interlocking concrete block headwalls are to be provided and laid out as shown and detailed in the accompanying drawings.

The standard precast interlocking concrete blocks shall be rectangular in shape with square corners and be a minimum size of 600mm x 600mm x 1200mm (2' x 2' x 4'), as available from Underground Specialties Inc./Wolsely Inc. (Canada), or approved equal. Blocks with modified lengths may be utilized to fill in staggered sections of the block wall. All blocks shall be cast in one pour with no cold joints and shall have a minimum compression strength of 20MPa at 28 days. All precast concrete blocks shall be formed with interlocking pockets and tenons and each block shall be assembled in a staggered formation to prevent sliding at the interface between blocks. All precast concrete blocks shall be uniform in size with relatively smooth and consistent joints. All precast concrete blocks shall have a smooth internal finish and consistent exterior finish. Each block shall be fitted with a lifting ring that will not interfere with the assembly of the block wall once they are set in place. Unless otherwise stated, cap blocks shall be utilized on the top course of the wall with the top of the cap blocks having a smooth, uniform finish.

Precast interlocking blocks that abut the culvert structure shall be cut and shaped to fit closely around the perimeter of the structure. For the concrete box culvert option, the interface between the culvert and headwall shall be secured with dowels or an approved equivalent method. The face of the wall shall not extend beyond the end of the structure. All minor gaps between the blocks and the pipe shall be sealed with no shrink grout for the full depth of the blocks. At the base of the wall, a base block shall be used at

the bottom of the interlocking block wall. The base block shall be founded on a firm solid base. When necessary, the Contractor shall provide a minimum of 200mm thickness of level compacted granular bedding, or a lean concrete footing, as a firm foundation for the blocks. The base block shall be set level and shall convey a vertical projection throughout its full height and shall include filter cloth behind the wall for the full height of the blocks to prevent soil migration through any joints. Filter cloth fabric shall be non-woven geotextile material and be minimum MacTex MX140 meeting OPSS Class I. Both headwalls shall be assembled concurrently with a continuous uni-axial geogrid SG350, or equal, installed across the entire structure at every second course of blocks, to tie each headwall to the other. Both the non-woven filter cloth and the uni-axial geogrid are available from Armetec Construction Products, or equal.

The blocks shall extend up from the structure footings and cross the full width of the drain and be embedded a minimum of 500mm into the drain banks. Where required for the top of the block wall to match the height of the completed driveway, the Contractor shall embed the bottom course of blocks into the drain bottom at the appropriate depth to achieve the required top elevation of the wall.

**The Contractor shall arrange for the supplier to provide interlocking block layout drawings outlining block assembly of the proposed headwall to the Consulting Engineer for approval prior to proceeding with fabrication and assembly of same.** The Contractor shall arrange with the supplier for technical assistance with the assembly of the structure on-site in full accordance with the requirements of the supplier. All assembly installation shall be carried out to avoid any damage to the culvert and shall follow the supplier's recommendation in every respect to ensure a proper and safe installation.

The precast interlocking concrete block headwalls shall be installed vertically and shall extend from the end of the structure to the top elevation of the driveway. Under no circumstance should the interlocking block wall be installed with an outward projection. When complete, the outside face of the headwall shall be installed flush with the end of the proposed culvert. The precast concrete interlocking block headwalls are to be installed so that daylighting is provided off of the travelled roadway, and are to be designed to deflect outwardly as shown in the accompanying drawings. The outward projection of the new headwalls shall be deflected at approximately a 45° angle to the straight portion of the finished headwall. The top elevations of the daylighted headwalls are to be set to the elevations shown within the attached plans. The Contractor shall also be required to backfill the area behind the new headwall with granular fill as already specified in the preceding paragraphs for backfilling of the bridge culvert. The alignment of these headwalls shall be performed to the satisfaction of the Drainage Superintendent and/or Consulting Engineer.

The installation of the precast interlocking concrete block headwalls and the placement of the backfill shall be carried out at the same time and shall be provided in total compliance with the **"Typical Precast Interlocking Concrete Block Headwall End Protection Detail"** shown within the accompanying drawings. Further to the details outlined above, the Contractor shall comply with any installation guidelines and/or specifications provided by the supplier. If there are any conflicting details between these specifications and the information provided by the supplier, the supplier's specifications shall govern.

## **XVI. SLOPED QUARRIED LIMESTONE EROSION PROTECTION**

The Contractor shall provide sloped quarried limestone erosion protection adjacent and along the new precast interlocking concrete block headwall system as noted in the accompanying drawings, and at the general locations and to the widths shown within the details included therein.

The Contractor shall also be required to provide sloped quarried limestone erosion protection inside the entire length, and adjacent to, the new Multi-Plate Box Culvert structure at a 1.50 horizontal to 1.00 vertical side slope from the bottom of the drain bank, as shown and detailed within the attached drawings.

In all cases, the sloped quarried limestone erosion protection shall be embedded into the side slopes of the drain with a minimum thickness of 305mm and shall be underlain in all cases with a synthetic filter mat. The filter mat shall not only be laid along the flat portion of the erosion protection but also contoured to the exterior limits of the quarried limestone and the unprotected slope. The width of the general erosion protection shall be as established in the accompanying drawings or as otherwise directed by the Drainage Superintendent and/or the Consulting Engineer during construction. In placing the erosion protection the Contractor shall carefully tamp the quarried limestone pieces into place with the use of a shovel bucket so that the erosion protection when completed will be consistent, uniform and tightly laid. In no instance shall the quarried limestone protrude beyond the exterior contour of the unprotected drain side slopes along either side of said protection. The synthetic filter mat to be used shall be **non-woven** geotextile MacTex MX140 conforming to OPSS 1860 Class I, as available from Armtec Construction Products, or approved equal. The quarried limestone to be used shall be graded in size from a minimum of 100mm (4") to a maximum of 250mm (10"), and is available from Walker Aggregates, in Amherstburg, Ontario, or approved equal.

## **XVII. ANCILLARY WORK**

During the course of the work, the Contractor will be required to protect or extend any existing tile ends or swales to maintain the drainage from the adjacent lands. All existing tiles shall be extended utilizing Boss 1000 or equal plastic pipe of the same diameter as the existing tile and shall be installed in accordance with the **"Standard Lateral Tile Detail"** as shown in the details included within the accompanying drawings unless otherwise noted. Connections shall be made using a Manufacturer's coupling wherever possible. For other connections, the Contractor shall utilize a grouted connection. Grouted mortar joints shall be composed of three (3) parts of clean, sharp sand to one (1) part of Portland Cement with just sufficient water added to provide a stiff plastic mix, and the mortar connection shall be performed to the satisfaction of the Drainage Superintendent and/or the Consulting Engineer. The mortar joint shall be of sufficient mass around the full circumference of the joint on the exterior side to ensure a tight, solid seal.

All of the work required towards the installation and improvements to the replacement bridge structure shall be performed in a neat and workmanlike manner and a general site shall be restored to its original condition, and all of same is to be performed to the satisfaction of the Drainage Superintendent and/or the Consulting Engineer.

## **XVIII. TOPSOIL, SEED AND MULCH**

The Contractor shall be required to restore all existing grassed areas and drain side slopes damaged by the structure replacement or bank modification, and place topsoil and seed and mulch over said areas including any specific areas noted on the plans. The Contractor shall be required to use the scavenged topsoil stripped from the drain banks. The balance of the topsoil required shall be obtained by the Contractor at its own expense. The Contractor shall provide all the material to cover the above-mentioned surface areas with approximately 50mm of good, clean, dry topsoil on slopes and 100mm of good, clean, dry topsoil on

horizontal surfaces, fine-graded and spread in place ready for seeding and mulching. The placing and grading of all topsoil shall be carefully carried out according to Ontario Provincial Standard Specifications, Form 802, dated November 2010, or as subsequently amended or as amended by these Specifications. Once the topsoil has been properly placed and fine-graded, the Contractor shall seed and mulch the area. Seeding and mulching operations shall be carried out according to Ontario Provincial Standard Specifications, Form 804, dated November 2014, or as subsequently amended or as amended by these Specifications. The seeding mixture shall be OSECO Seed Mixture Canada No. 1, as available from Morse Growers Supply in Leamington, or equal. As part of the seeding and mulching operation, the Contractor will be required to provide either a hydraulic mulch mix or a spread straw mulch with an adhesive binder in accordance with OPSS 1103.05.03 dated November 2016, or as subsequently amended, to ensure that the grass seed will be protected during germination and provide a thick, uniform cover to protect against erosion, where necessary. All work shall be completed to the satisfaction of the Drainage Superintendent and/or the Consulting Engineer.

All of the work relative to the placement of topsoil and the seeding and mulching operation shall be meticulously done and completed in a good and workmanlike manner all to the satisfaction of the Drainage Superintendent and/or Consulting Engineer.

## **APPENDIX "A"**

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## APPENDIX A

# Essex Region Conservation Authority Correspondence

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## Kiara Kirkland

---

**From:** Ashley Gyori <AGyori@erca.org>  
**Sent:** March 9, 2023 8:51 AM  
**To:** Matthew Shiha  
**Cc:** Tony Peralta; Ken Vegh; Shaun Martinho  
**Subject:** RE: Emergency Bridge Replacement Over the 7th Concession Drain - D22-067  
**Attachments:** 20230303 PRELIMINARY Plans Bridge Over the 7th Concession Drain.pdf; Application-for-Permit-General\_Fillable.pdf

Good morning Matthew,

Thank you for providing the attached Preliminary Drawings, as well as the additional information below, for the emergency bridge replacement over the 7<sup>th</sup> Concession Drain, Project No. D22-067. I've had an opportunity to review the preliminary drawings and the available information and can confirm that this proposal, as presented, is something that this office can support.

Please note that prior to any works being undertaken, a permit under Section 28 of the *Conservation Authorities Act* is required. We look forward to receiving the finalized proposal and the Application for Permit form (attached).

If you have any questions, please do not hesitate to contact me.

Kind regards,



ASHLEY GYORI  
Regulations Analyst  
Essex Region Conservation Authority  
360 Fairview Avenue West, Suite 311 • Essex, Ontario • N8M 1Y6  
[agyori@erca.org](mailto:agyori@erca.org) • [essexregionconservation.ca](http://essexregionconservation.ca)

**Please consider the environment before printing this email**

*This e-mail transmission is confidential and may contain proprietary information for the express use of the intended recipient. Any use, distribution or copying of this transmission, other than by the intended recipient, is strictly prohibited. If you are not the intended recipient, please notify us by telephone at the number above and arrange to return this transmission to us or destroy it.*

**Follow us on Twitter:** [@essexregionca](https://twitter.com/EssexRegionCA)

The ERCA Office is now open to the public **Tuesdays, Wednesdays and Thursdays** to provide "counter service"; however, services continue to be delivered online and through email. Please consult ERCA's website for more information and direction regarding online services (i.e. permitting, cottage bookings, seasonal passes etc.).

---

**From:** Matthew Shiha <matthew@peraltaengineering.com>  
**Sent:** Friday, March 3, 2023 4:42 PM  
**To:** Ashley Gyori <AGyori@erca.org>  
**Cc:** Tony Peralta <tony@peraltaengineering.com>; Ken Vegh <kvegh@kingsville.ca>; Shaun Martinho <smartinho@kingsville.ca>  
**Subject:** Emergency Bridge Replacement Over the 7th Concession Drain - D22-067

Good Afternoon Ashley,

Further to our previous phone conversation, we have been appointed by the Town of Kingsville, under Section 78 of the Drainage Act, to provide an Engineer's Report for the replacement of a failing access bridge over the 7<sup>th</sup> Concession Drain. Based on our inspection of the bridge it appears that it is indeed failing. Due to its current condition, we have received an Emergency Designation under Section 124 of the Drainage Act, from the Minister of OMAFRA, for the immediate replacement of the existing failing access bridge. The subject bridge serves as the shared access for lands owned by Richard & Donna Valenciuk at 3486 County Road 23 and the adjacent farm parcel.

Pursuant to our conversation, we understand that ERCA is mostly concerned that the new structure will have the same (or better) level of service of the drain, as it relates to the 1:100-year storm event, and/or does not create negative impacts upstream or downstream. As we have not yet received initial comments on our appointment and given the Emergency status of this bridge, we wanted to reach out to you with our design proposal and attached preliminary plans for your review and comments, as discussed:

The existing access consists of a 6.35m clear span bridge. The bridge replacement will be in the general location of the existing bridge. With regards to the proposed works, there are several various structures upstream including concrete clear span and CSP culverts. Immediately upstream, approximately 155.0m, there is an existing, 4.5m wide, concrete clear span road crossing over County Road 27 West. Moving upstream is a 12' (3.60m) concrete span bridge, 4720mm x 3070mm CSP Pipe Arch, 4270mm x 2210mm CSP Arch (open bottom) among other concrete clear span structures upstream and downstream of these 3 aforementioned structures. Approximately, 240.0m downstream is a 5.0m Span concrete box culvert road crossing over County Road 23.

Per our hydraulic analysis, we have completed a pre versus post analysis which compared the hydraulic capacity and water surface elevation of the open channel cross section, existing structure, and proposed bridge. Our results confirm that the hydraulic capacity of the new structure can convey flows for a 1:100 year storm event equal to that of the existing bridge and the water surface elevation for the proposed bridge is at an elevation equal to that of the existing drain cross-section. Based on our analysis, the bridge replacement shall not have any adverse impacts on the upstream and downstream level of service for the drain and shall not cause any changes to the existing flow regime. If you require our detailed analysis, please feel free to request same.

Given the size of the existing structure, the upstream structures as well as the cost-sharing component, we have optioned two different designs for the Contractor's choice to solicit the lowest tendered price. Based on our preliminary design, we have determined that the replacement access bridge shall consist of approximately 8.00m of 3600mm x 1800mm concrete box culvert or 8.00m of 4228mm x 3206mm CSP Arch (open bottom), both with precast concrete block wall end treatments. This access is intended to provide a minimum access top width of 6.10m (20.0').

The final Engineer's Report will include details and cost sharing of the access bridge replacement and this report will be subject to the prescribed public meetings and appeal process through the Drainage Act.

We have reviewed the DFO website as it relates to the Fisheries Act and performed a "Self Assessment" for this project. Also, as it relates to the Endangered Species Act, we have contacted the Town of Kingsville to ensure that this project is covered under the new ESA Regulation 242/08.

We trust that this information is satisfactory and would kindly request any comments or concerns from ERCA at this time. Should you have any concerns or require additional information, please contact us at your earliest opportunity. We look forward to your response.

Regards,



**Matthew Shiha, E.I.T.**

[matthew@peraltaengineering.com](mailto:matthew@peraltaengineering.com) | 519-733-6587 x 145

N.J. Peralta Engineering Ltd. - Consulting Engineers

45 Division St. N., Kingsville ON N9Y 1E1

[peraltaengineering.com](http://peraltaengineering.com)

**IMPORTANT:** We have temporarily relocated to Unit 1-38 Erie Street North, Leamington ON N8H 2Z3 during the construction of the new office building at our Kingsville location.

The content of this email is the confidential property of N.J. Peralta Engineering Ltd. and should not be copied, modified, retransmitted, or used for any purpose except with Peralta Engineering's written authorization. If you are not the intended recipient, please delete all copies and notify us immediately.

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## APPENDIX B

### OMAFRA Emergency Designation

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Ministry of Agriculture,  
Food and Rural Affairs

Office of the Minister

77 Grenville Street, 11th Floor  
Toronto, Ontario M7A 1B3  
Tel: 416-326-3074  
[www.ontario.ca/OMAFRA](http://www.ontario.ca/OMAFRA)

Ministère de l'Agriculture, de  
l'Alimentation et des Affaires rurales

Bureau du ministre

77, rue Grenville, 11<sup>e</sup> étage  
Toronto (Ontario) M7A 1B3  
Tél. : 416 326-3074  
[www.ontario.ca/MAAARO](http://www.ontario.ca/MAAARO)



July 19, 2022

Ken Vegh, CRS  
Municipal Drainage and Inspection Supervisor  
The Corporation of the Town of Kingsville  
[kingsvilleworks@kingsville.ca](mailto:kingsvilleworks@kingsville.ca)

Dear Mr. Vegh:

Thank you for your letter dated June 22, 2022, requesting an emergency designation under Section 124 of the [Drainage Act](#) for the replacement of an existing primary access bridge to the agricultural lands, together with access for the residential lands of 3486 County Road 23 (Concession 6, Pt. Lot 1, in the former Geographic Township of Gosfield North) and within the 7th Concession Drain in the Town of Kingsville.

Your letter and the accompanying photographs demonstrate that the access bridge is in poor shape and showing heavy signs of deterioration. You indicate the Town of Kingsville has taken a proactive approach to have N.J. Peralta Engineering Ltd. conduct a preliminary inspection of the crossing. It was inspected and determined to be at the end of its service life and needs to be reconstructed using current design standards and materials.

You state that the structure should currently only be accessed by pedestrians and small vehicular traffic. Traffic cones have been placed on the crossing to ensure that it is not used by larger vehicles until it is replaced. With the structure in its current state and currently the only access to the agricultural and associated residential properties, it is recommended that it be replaced expeditiously as it presents a safety concern to the property owner and the general public utilizing this access. The impacts of waiting for the normal process to replace the crossing will jeopardize the safety of daily crossing for the owner.

You indicate that Antonio (Tony) Peralta, P.Eng will be appointed at a council meeting on August 8, 2022, by the Town of Tecumseh to prepare a report for the replacement of this access bridge under Section 78 of the Drainage Act. I would encourage you to take any opportunity to expedite the resolution of this serious issue as quickly as possible.

.../2

After considering this information, I hereby designate the replacement of the primary access bridge to the agricultural lands, together with access for the residential lands of 3486 County Road 23 (Concession 6, Pt. Lot 1, in the former Geographic Township of Gosfield North) and within the 7th Concession Drain in the Town of Kingsville to be an emergency within the meaning of Section 124 of the Drainage Act.

This designation is granted on the condition that the replacement is made under the supervision of N.J. Peralta Engineering Ltd., appointed by council under Section 78 of the Drainage Act. Since the total project cost is unknown at this time, all involved property owners must be given an opportunity to appeal their share of the project cost to the appeal bodies established under the act.

Please note that this emergency designation does not exempt you and your municipality from any approvals that may be required from other agencies.

Sincerely,

A handwritten signature in blue ink, appearing to read "Lisa M. Thompson".

Lisa M. Thompson  
Minister of Agriculture, Food and Rural Affairs

## **APPENDIX "C"**

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Original Sheet Size A4 CHD 1:1100mm

PLANS, PROFILE & DETAILS

OF THE

# 7th CONCESSION DRAIN

(Replacement Bridge For Richard & Donna Valenciuk (460-00701 & 460-00702),

Part of Lot 1, Concession 6)

IN THE

TOWN OF KINGSVILLE (Geographic Township of Gosfield North)

IN THE

COUNTY OF ESSEX • ONTARIO

## TOWN OF KINGSVILLE

MAJOR: DENNIS ROGERS  
CLERK: PAULA PARKER  
DRAINAGE SUPERINTENDENT: LU-ANN MARENTETTE

### BENCHMARKS:

1. TOP OF NAIL SET IN WEST FACE OF EXISTING HYDRO POLE LOCATED ON THE EAST SIDE OF COUNTY ROAD 23 (ARNER TOWNLINE), APPROXIMATELY 33.0m SOUTH OF THE SUBJECT BRIDGE.

ELEV. 192.606m

2. TOP OF HEADWALL (AT BEND) OF THE SOUTH END OF THE EXISTING ROAD CROSSING CULVERT, OVER THE 7TH CONCESSION DRAIN AT THE INTERSECTION OF COUNTY ROAD 23 AND COUNTY ROAD 27, APPROXIMATELY 200.0m NORTH OF THE SUBJECT BRIDGE.

ELEV. 192.798m

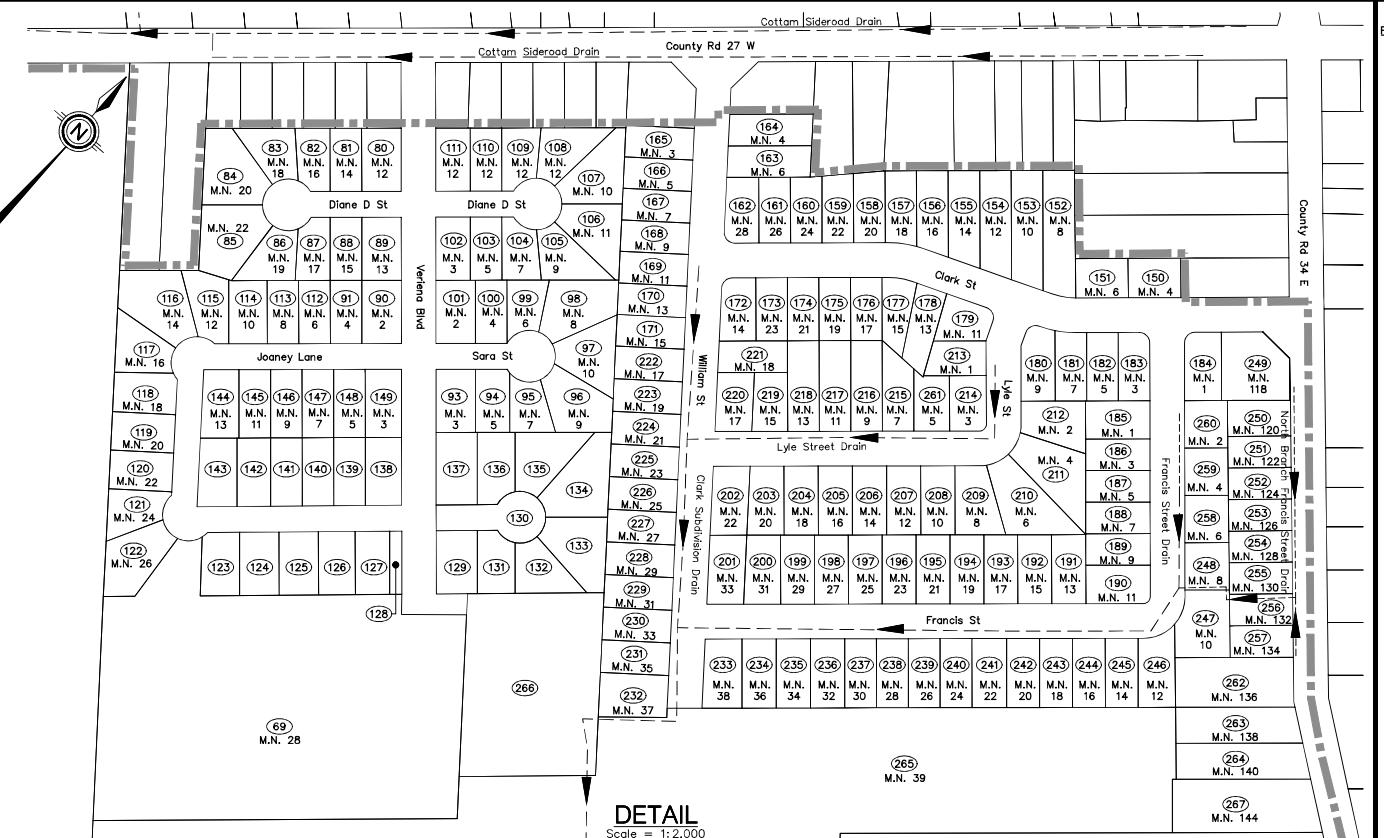
### LEGEND:

- DENOTES OVERALL WATERSHED LIMITS
- DENOTES SUB-WATERSHED LIMITS
- DENOTES ALIGNMENT OF THE 7TH CONCESSION DRAIN
- DENOTES BRIDGE IDENTIFICATION
- XX DENOTES PARCEL ID# NUMBER
- DENOTES AREA CONTRIBUTING TO THE 7TH CONCESSION DRAIN AND CENTRE BRANCH OF THE NO. 47 DRAIN

THESE DRAWINGS HAVE BEEN REDUCED IN SIZE AND THE SCALE THEREFORE VARIES.  
FULL SCALE DRAWINGS CAN BE VIEWED AT THE MUNICIPAL OFFICES IF REQUIRED.

Parcel

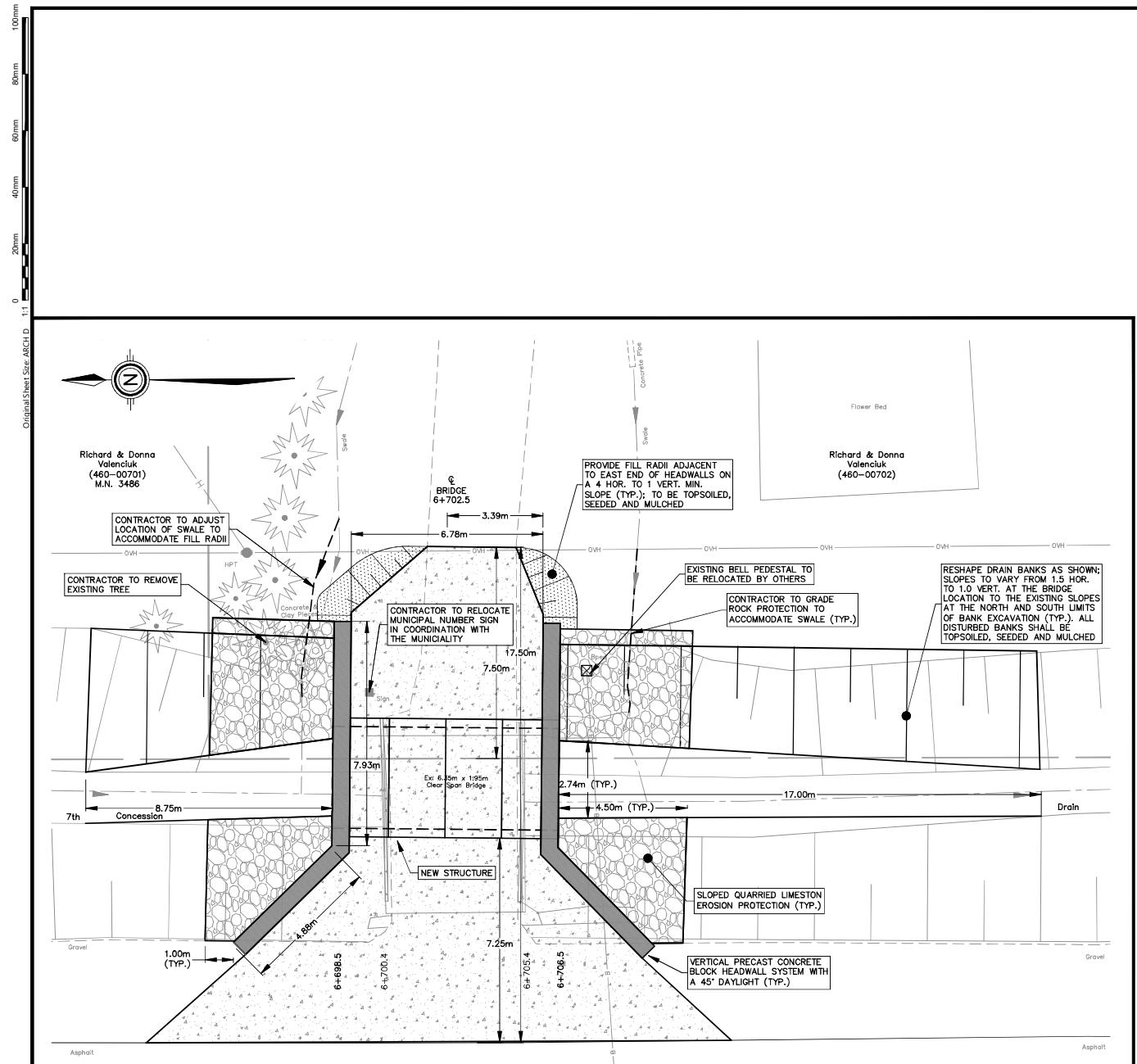
Parcel ID	Owner Name
1	André & Colette Cazebon
2	Richard & Donna Valenciuk
3	Richard & Donna Valenciuk
4	Burstyn Farms Ltd.
5	John & Nancy Stitzinger
6	Paul & Corinne Moile
7	Matthew Hyland
8	Joseph & Christine Parent
9	Mark Holm, Melissa Weldon
10	Stephen Ferguson
11	Marian Maslin
12	Joselyne Rizza
13	Shelley Moody
14	Lawrence & Joseph Miehls
15	Amber Norman & Trevor Maheux
16	Ronald & Karen Kendrick
17	Henry & Megan Lumley
18	Edward Ross
19	Arthur Brown
20	Edward Ross
21	Douglas & Leslie Kendrick
22	Henry Renaud
23	Milton Hillier
24	James Ferguson
25	James & Diane Ferguson
26	Brent & Michelle Ramsay
27	Donna & Steven Merritt
28	Donna & Steven Merritt
29	Neill & Shari Ferguson



### DETAIL

Scale: 1:2,000

Parcel ID	Owner Name
31	Joseph & Susan Schembri
32	Dorothy & Laurence Merritt
33	Laurence & Dorothy Merritt
34	Stevan Bartolik
35	Colin & Kristin Ltd. & James Ferguson
36	Lloyd & Catherine Ferguson
37	John & Jeanine Sylvestre
38	Tyler Marder & Elizabeth Jeffery
39	Dorothy Davison
40	James Sylvestre
41	Philip Keefe & Quina Bartolik
42	David & Debbie Alexander
43	David & Jason Alexander
44	David & Debbie Alexander
45	Benjamin & Kallyn Watson
46	Richard & Phyllis Barnett
47	Kari Barnett
48	Mark & Patricia Hamlin
49	Robert & Jerry Wiesacker
50	Jennifer & Michael Dinchik
51	Brion & Dorene Lester
52	Downe Grado
53	Daniel & Nino Lovin
54	Karen & Adam Schmitthen
55	Nina Clavertes & Daniel Boullane
56	Bradley & Ruth Solter
57	Douglas & Andrea Piscitello
58	Sharon & Eric Mulcaster
59	Ruth Battersby
60	Dale & Bell Steel
61	Todd Gehr & Kelly Dunn
62	Michael & Constance Mulholland
63	Robert & David Alexander
64	Donald & Cora Bertram
65	Jason & Laura Alexander
66	Stedde Farms Limited
67	Kevin Darmon
68	James & Diane Ferguson
69	Gary & Laurie Tavelin
70	John & Diane Bachtold
71	John & David Bachtold
72	Larry & Tammy Meloche
73	John & David Bachtold
74	Diane Bachtold & Alysa Gould
75	Barbara Van Grinsven
76	Andrea Nikita
77	Cheveller Farms & Elevator Ltd.
78	Richard & Sharon Kendrick
79	Richard & Sharon Kendrick
80	Neil Amer
81	David Krohn
82	Terry Reiter & Amy Wiper
83	Howard & Paul Hamlin
84	Cameron & Grace Fost
85	Antonio & Sheila Lopetrone
86	Trevor & Kari Smith
87	Steven & McKenzie Chortes
88	Jason Clark & Amanda Middleton
89	Michael & Tina O'Connor
90	Eric & Amanda Noel
91	Wilhem & Jessica Loewen
92	Carlos Correa & Gloria Arango
93	Patricia & Mellisa Fischer
94	Brian & Cheryll Bisch
95	Alexander & Janeline Keeney
96	David & Toni Curtis
97	Nancy Garraway & John Etue
98	Al Langstaff
99	Moninder Brar & Prabhjeet Kaur
100	Virginia Demar & Michael Demar
101	Virginia Demar & Michael Demar
102	Moninder Brar & Prabhjeet Kaur
103	Connie Bilton
104	Michael & Rita Beale
105	Keith Cullin
106	Mark & Linda Hennes
107	Fredy & Corin Menviar
108	Douglas Dolpe
109	Santino Viselli & Megan Manchester
110	Irene Stewart
111	Joseph South & Maegan Ferranti
112	Christopher South & Maegan Ferranti
113	Justin & Sarah Snelgrove
114	Crysita Hudon & Michael Bondy
115	Tyler & Patricia Driedger
116	Edward & Brenda Ryall
117	John & Nicole Brady
118	John & Michelle Lowe
119	Roger Desmarais & Megan Watson
120	Bier & Zela Abdulkader
121	Peter Miller & Jaclyn Garant
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278	Cottam Solar Limited



OPTION 2 - CONCRETE STRUCTURE DETAIL

Scale = 1:100

BENCHMARK:  
TOP OF NAIL SET IN WEST FACE OF EXISTING HYDRO POLE LOCATED ON THE EAST SIDE OF  
COUNTY ROAD 23 (ARNER TOWNLINE), APPROXIMATELY 33.0m SOUTH OF THE SUBJECT BRIDGE.  
ELEV. = 192.606m

STRUCTURE & DRIVEWAY ELEVATIONS:

INVERT ELEVATION = 189.595m

OVERT ELEVATION = 191.395m

% OF DRIVEWAY

AT GRAVEL EDGE = 192.689m

% OF DRIVEWAY AT

STRUCTURE CENTRELINE = 192.580m

% OF DRIVEWAY 7.5m

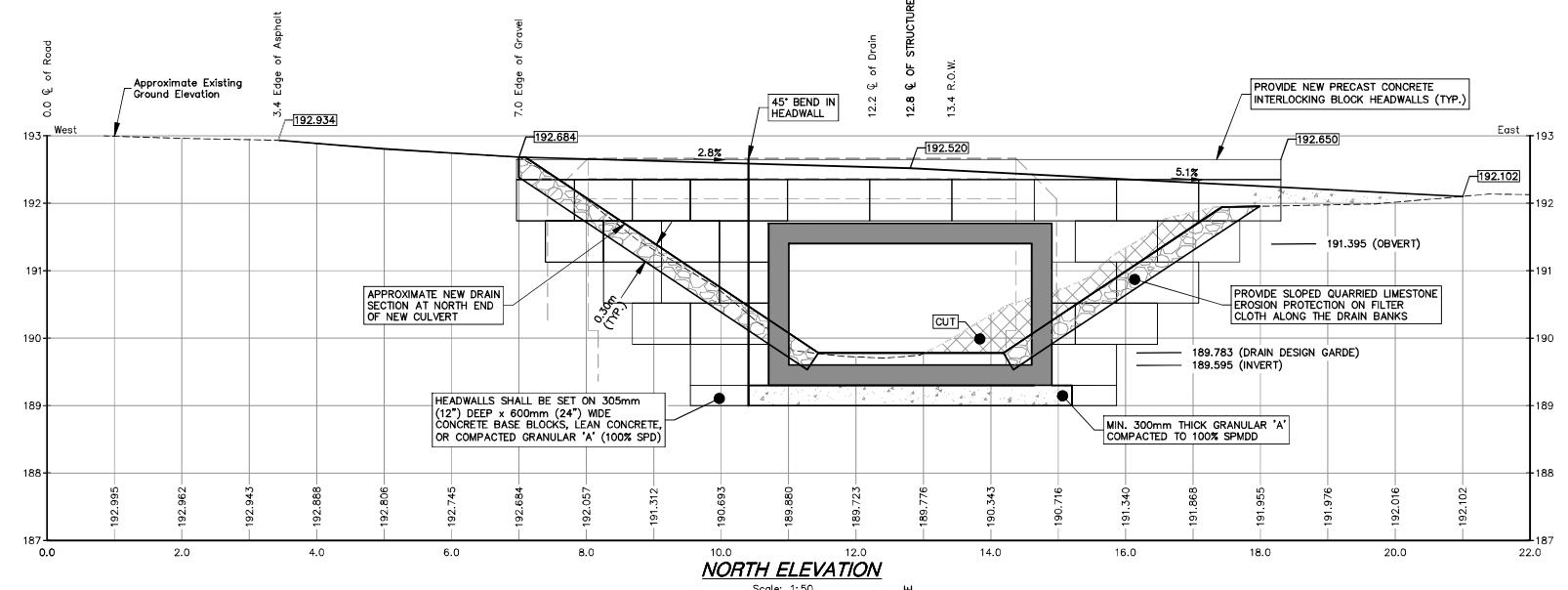
EAST OF R.O.W. LIMIT = 192.424m

DRIVEWAY CROSSFALL FROM CENTRELINE

TO EDGE OF GRAVEL DRIVEWAY = 1.50%

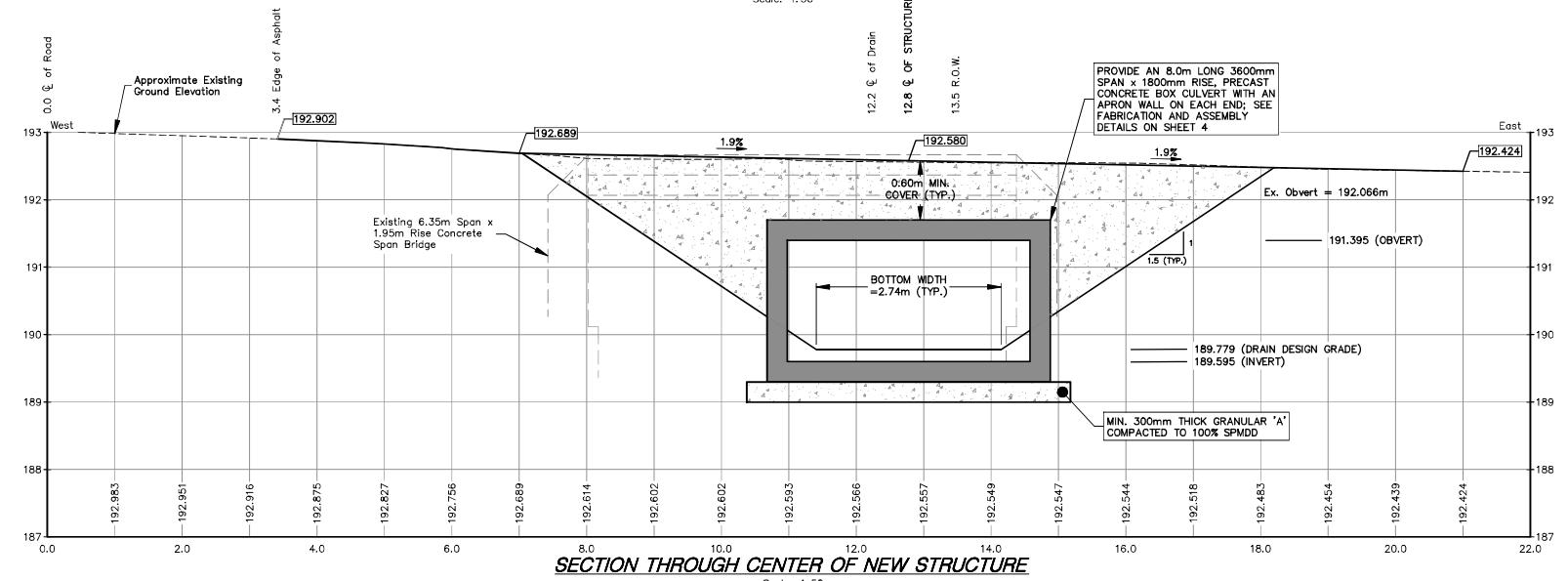
GENERAL NOTES:

1. THE EXISTING EAST CONCRETE ABUTMENT (INCLUDING EXTENSIONS), STEEL I-BEAMS, AND CONCRETE DECK SHALL BE COMPLETELY REMOVED AND DISPOSED OF IN ENTIRETY. THE EXISTING WEST ABUTMENT MAY REMAIN, SO LONG THAT IT DOES NOT INTERFERE WITH THE INSTALLATION OF THE NEW BRIDGE STRUCTURE.
2. CONTRACTOR SHALL PROTECT ALL TREES AND PRIVATE FEATURES WITHIN THE WORKSITE (UNLESS OTHERWISE NOTED).



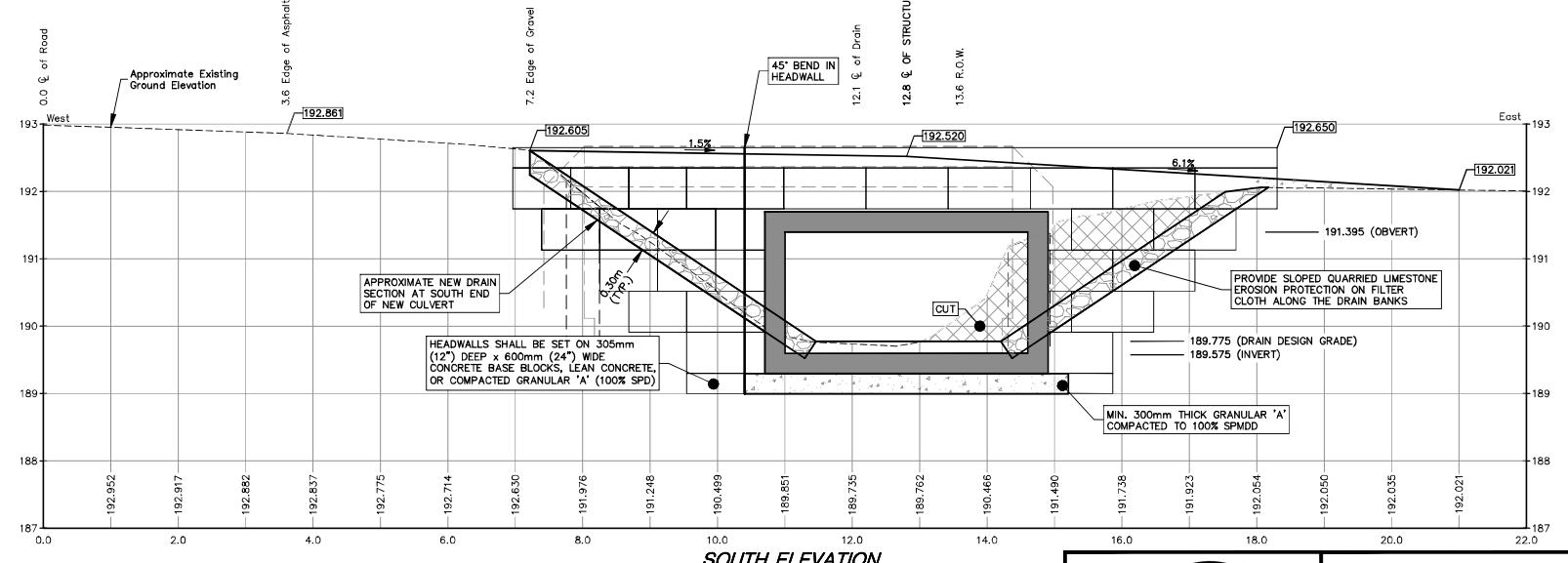
NORTH ELEVATION

Scale: 1:50



SECTION THROUGH CENTER OF NEW STRUCTURE

Scale: 1:50

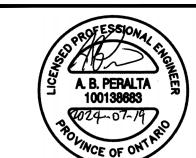


SOUTH ELEVATION

Scale: 1:50

NOTE:  
INTERLOCKING BLOCK HEADWALLS SHOWN ON THESE ELEVATIONS  
ARE FOR ILLUSTRATIVE PURPOSES ONLY; HEADWALL  
FABRICATORS ARE RESPONSIBLE FOR PROVIDING A DESIGN THAT  
ADHERES TO ALL RELATIVE DESIGN CODES AND STANDARDS  
WHEN SUBMITTING SHOP FABRICATION DRAWINGS FOR REVIEW

THESE DRAWINGS HAVE BEEN REDUCED IN SIZE AND  
THE SCALE THEREFORE VARIES.  
FULL SCALE DRAWINGS CAN BE VIEWED AT THE  
MUNICIPAL OFFICES IF REQUIRED.

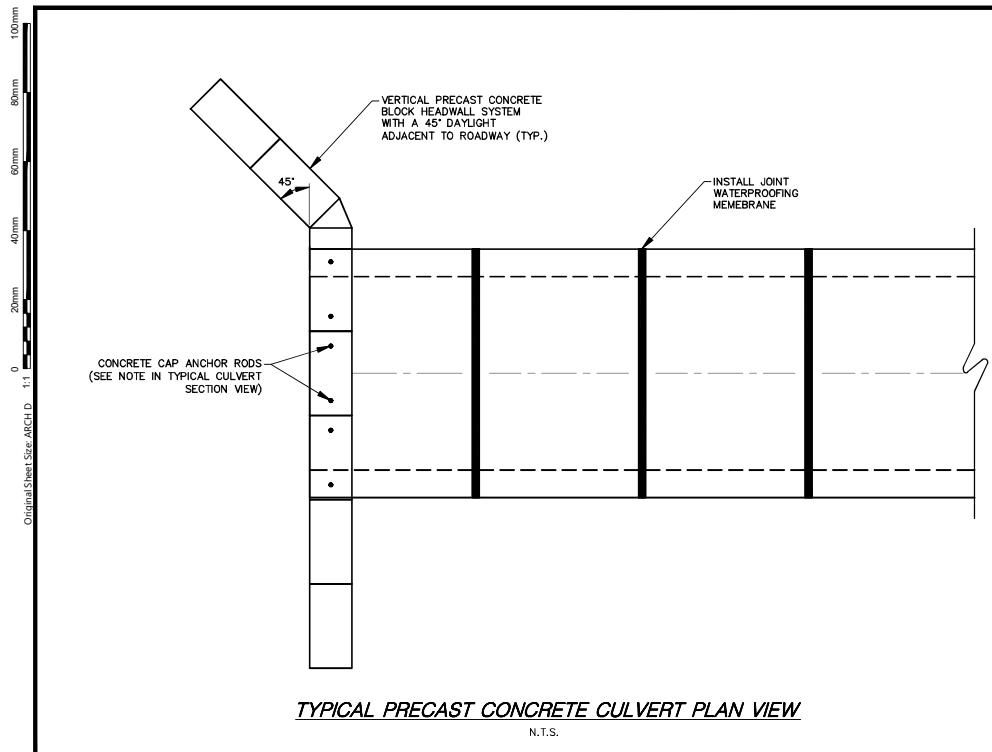


**Peralta**  
Engineering

N.J. Peralta Engineering Ltd.  
Consulting Engineers

P: 519-733-6587  
F: 519-733-6588  
45 Division Street North  
Kingville, ON  
N9Y 1E1 Canada  
peraltaengineering.com

DATE: JULY 19, 2024  
DESIGNED BY: DRAWN BY: CHECKED BY:  
A.B.P. M.J.S. A.B.P. PROJECT No.: D22-067 SHEET No.: 2 OF 3



### TYPICAL PRECAST CONCRETE CULVERT PLAN VIEW

N.T.

## TYPICAL PRECAST CONCRETE CULVERT SECTION VIEW

S.

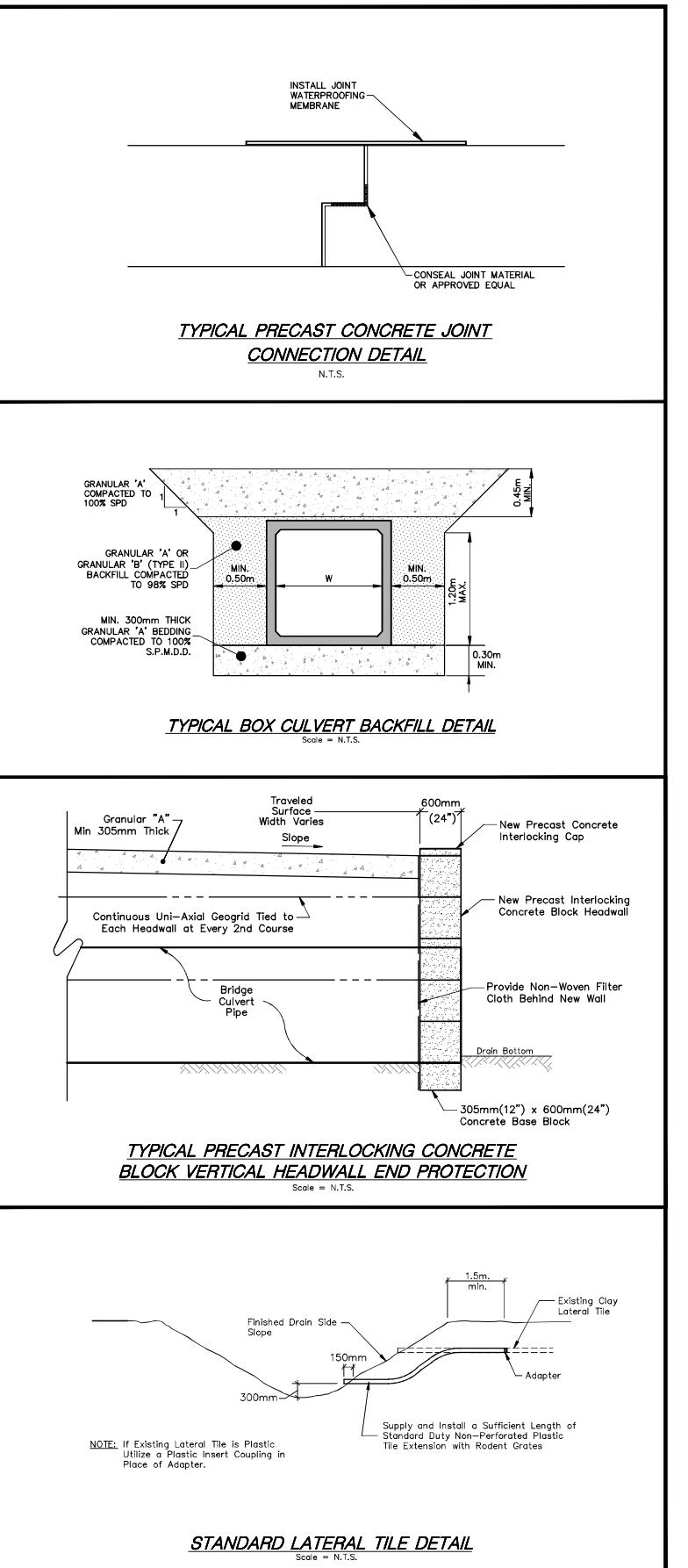
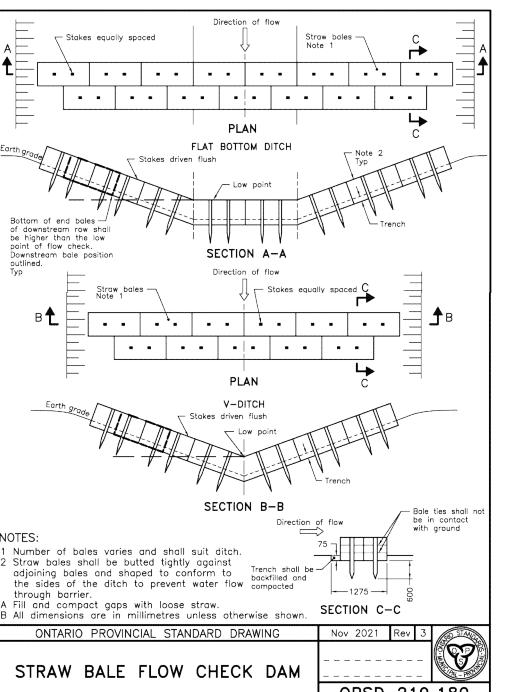
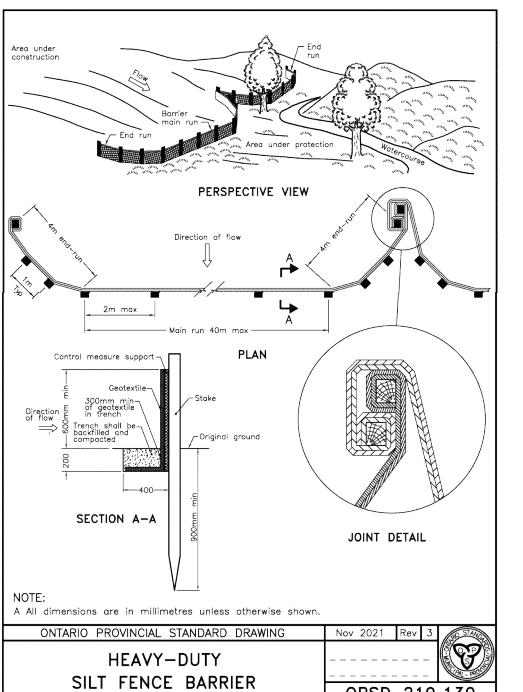
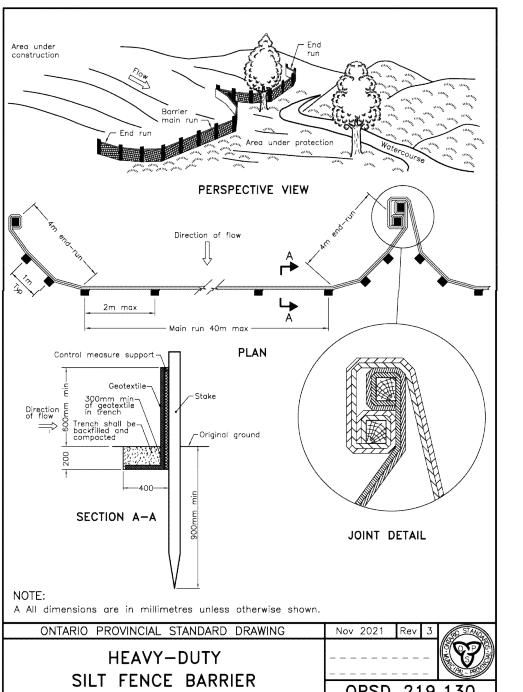
#### STRUCTURE AND HEADWALL NOTES:

**GENERAL NOTES:**

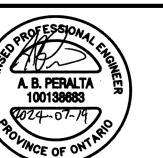
1. THE ACCURACY OF THE UTILITIES SHOWN ON THESE DRAWINGS ARE NOT GUARANTEED BY THE OWNER OR N. J. PERALTA ENGINEERING LTD.; OTHER UTILITIES MAY BE PRESENT OR THE UTILITIES SHOWN MAY DIFFER IN SIZE AND/OR LOCATION SHOWN.
2. ALL DIMENSIONS SHOWN IN METRIC UNLESS NOTED OTHERWISE. PROPERTY LINES ARE APPROXIMATE AND ARE BASED ON THE TOWN OF LAKESHORE GIS AND FIELD SURVEY INFORMATION.
3. CONTRACTOR SHALL VERIFY ALL BURIED SERVICES WITHIN CONSTRUCTION ZONE AND SHALL REMAIN RESPONSIBLE FOR THEIR PROTECTION DURING CONSTRUCTION.
4. THE CONTRACTOR MUST SUBMIT THE FOLLOWING PLANS PRIOR TO CONSTRUCTION: DEMOLITION PLAN (DEBRIS MANAGEMENT PLAN), SEDIMENT AND EROSION CONTROL PLAN, WATER CONTROL PLAN (FLOW CONVEYANCE) AND FISH SALVAGE PLAN TO ERCA (ESSEX REGION CONSERVATION AUTHORITY) AND CONSULTING ENGINEER FOR REVIEW AND APPROVAL.
5. CONTRACTOR MUST COMPLY WITH THE REQUIREMENTS OF THE OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS LATEST EDITION FOR CONSTRUCTION PROJECTS. NO WORK TO BE COMMENCED UNTIL ALL APPROVALS ARE IN PLACE.
6. CONTRACTOR SHALL RESTORE ALL AREAS DISTURBED BY NEW CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER AND TO THE SATISFACTION OF THE OWNER.
7. APPROPRIATELY DISPOSE OF ALL SURPLUS MATERIALS AND DEBRIS OFF-SITE.
8. BACKFILL AROUND BOX CULVERT AND WING WALLS WITH GRANULAR MATERIALS AS INDICATED ON DRAWING. COMPACT GRANULAR "B" MATERIALS TO A MINIMUM OF 95% STANDARD PROCTOR MAXIMUM DRY DENSITY RESPECTIVELY. PLACE FILL AT BOTH SIDES OF THE CULVERT SIMULTANEOUSLY.
9. THE CONTRACTOR MUST PROVIDE THE TOWN AND ENGINEER WITH A MINIMUM OF 48 HOUR NOTICE PRIOR TO COMMENCING ANY WORKS ON THIS PROJECT.
10. CONTRACTOR SHALL INSTALL TEMPORARY SILT FENCE AS PER OPSD 219.130.
11. THE CONTRACTOR SHALL FIELD CHECK AND VERIFY ALL CONDITIONS AND MEASUREMENTS AT THE SITE AND REPORT ANY DISCREPANCIES TO THE DESIGN ENGINEER BEFORE PROCEEDING WITH THE WORK.
12. CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY BRACING AS REQUIRED FOR ALIGNMENT, WIND, DEAD LOAD AND EROSION STRESSES.
13. DO NOT EXCEED DEAD LOADS DURING CONSTRUCTION UNLESS SHORING IS PROVIDED BY THE STRUCTURAL DESIGN ENGINEER.
14. ONLY PLANTS CERTIFIED BY CSA STANDARD A23.4 OR G401-14 FOR STRUCTURAL PRECAST OR MEETING OPS 1821 OR 1801 REQUIREMENTS SHALL DESIGN AND SUPPLY THE STRUCTURAL CULVERT.
15. CULVERT SUPPLIER SHALL BE CERTIFIED BY THE CANADIAN STANDARDS ASSOCIATION IN THE CULVERT CATEGORY ACCORDING TO CSA A23.4 OR G401-14, SUBMIT STAMPED SHOP DRAWINGS FOR THE CONSULTING ENGINEER'S REVIEW AND APPROVAL.
16. DESIGN CULVERT TO CHBDC REQUIREMENTS. PROVIDE ADDITIONAL REINFORCING AROUND PIPE OPENINGS. SUBMIT CERTIFIED DRAWINGS FOR REVIEW AND APPROVAL.
17. THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH THE FABRICATION DESIGN DRAWINGS. IN THE EVENT OF A CONFLICT WITH THESE DRAWINGS, THE FABRICATION DRAWINGS SHALL GOVERN.

## FOUNDATIONS/FOOTINGS

1. FOOTINGS SHALL BE INSTALLED ON NATURAL UNDISTURBED SOIL CAPABLE OF SUSTAINING BEARING CAPACITIES ESTABLISHED IN THE GEOTECHNICAL EXPLORATIONS FOR EACH STRUCTURE PROVIDED BY THE GEOTECHNICAL FIRM INCLUDED WITHIN THE CONTRACT DOCUMENTS.
2. EXCAVATION TO BE INSPECTED BY A SOIL ENGINEER BEFORE PROCEEDING WITH INSTALLATION OF CONCRETE STRUCTURES AND CONSTRUCTION OF WALL SYSTEM UNLESS OTHERWISE DETERMINED BY THE GEOTECHNICAL ENGINEER.
3. TEMPORARY FLOW CONVEYANCE PIPE SHALL BE INSTALLED DURING CULVERT INSTALLATION, AND SHALL BE REMOVED JUST PRIOR TO FINAL BACKFILL AND SUBSTRATE INSTALLATION (SIZE OF PIPE AS DIRECTED BY ENGINEER). CONTRACTOR TO REMAIN RESPONSIBLE FOR MAINTENANCE OF PIPE OPERATION DURING CONSTRUCTION PERIOD.
4. FOR WINTER CONSTRUCTION, SPECIAL CONDITIONS FOR COLD WEATHER CONSTRUCTION MUST BE FOLLOWED IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEER'S RECOMMENDATION.



THESE DRAWINGS HAVE BEEN REDUCED IN SIZE AND  
THE SCALE THEREFORE VARIES.  
FULL SCALE DRAWINGS CAN BE VIEWED AT THE  
MUNICIPAL OFFICES IF REQUIRED.



 Peralta  
Engineering

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. Peralta Engineering Ltd.  
Consulting Engineers

ON  
Canada

No.: SHEET No.:  
**2-067** **3 OF 3**



## **APPENDIX "D"**

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## **APPENDIX D-1**

### **Future Maintenance Schedule**

**Entire Drain (Station 0+000.0 to Station 6+949.8)**

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FUTURE MAINTENANCE SCHEDULE OF ASSESSMENT

Entire Drain (Station 0+000.0 to Station 6+949.8)

**2. ONTARIO LANDS:**

Parcel ID <u>Number</u>	Tax Roll <u>Number</u>	Con. or Plan <u>Number</u>	Lot or Part <u>of Lot</u>	Acres <u>Owned</u>	Acres <u>Affected</u>	Hectares <u>Affected</u>	Owner's Name	Value of <u>Benefit</u>	Value of <u>Outlet</u>	TOTAL <u>VALUE</u>
Highway No. 3					38.24	15.475	Ministry of Transportation Ontario	\$ 2,894.00	\$ 8,430.00	\$ 11,324.00
<b>Total on Ontario Lands.....</b>										
								<b>\$ 2,894.00</b>	<b>\$ 8,430.00</b>	<b>\$ 11,324.00</b>

**3. MUNICIPAL LANDS:**

Parcel ID <u>Number</u>	Tax Roll <u>Number</u>	Con. or Plan <u>Number</u>	Lot or Part <u>of Lot</u>	Acres <u>Owned</u>	Acres <u>Affected</u>	Hectares <u>Affected</u>	Owner's Name	Value of <u>Benefit</u>	Value of <u>Outlet</u>	TOTAL <u>VALUE</u>
County Road 27 West (Cottom Sideroad)					37.36	15.120	County of Essex	\$ 5,544.00	\$ 4,649.00	\$ 10,193.00
County Road 34 East (Talbot Road)					3.23	1.307	County of Essex	\$ -	\$ 802.00	\$ 802.00
County Road 23 (Arner Townline)					3.52	1.425	County of Essex	\$ 656.00	\$ 141.00	\$ 797.00
South Talbot Road					13.34	5.400	Town of Kingsville	\$ 1,128.00	\$ 2,435.00	\$ 3,563.00
Marsh Sideroad					5.46	2.211	Town of Kingsville	\$ 159.00	\$ 747.00	\$ 906.00
McCain Sideroad					0.62	0.251	Town of Kingsville	\$ 116.00	\$ 91.00	\$ 207.00
Road 7 West					4.97	2.010	Town of Kingsville	\$ 926.00	\$ 742.00	\$ 1,668.00
Clark Street					1.72	0.696	Town of Kingsville	\$ -	\$ 452.00	\$ 452.00
Lyle Street					1.19	0.482	Town of Kingsville	\$ -	\$ 313.00	\$ 313.00
Francis Street					2.12	0.859	Town of Kingsville	\$ -	\$ 558.00	\$ 558.00
William Street					1.93	0.781	Town of Kingsville	\$ -	\$ 507.00	\$ 507.00
Veriena Boulevard					1.53	0.618	Town of Kingsville	\$ -	\$ 401.00	\$ 401.00
Dianne Street					0.76	0.306	Town of Kingsville	\$ -	\$ 198.00	\$ 198.00
Sara Street					0.33	0.135	Town of Kingsville	\$ -	\$ 88.00	\$ 88.00
Joaney Lane					1.72	0.694	Town of Kingsville	\$ -	\$ 451.00	\$ 451.00
<b>Total on Municipal Lands.....</b>										
								<b>\$ 8,529.00</b>	<b>\$ 12,575.00</b>	<b>\$ 21,104.00</b>

**4. PRIVATELY OWNED - NON-AGRICULTURAL LANDS:**

<u>Parcel ID Number</u>	<u>Tax Roll Number</u>	<u>Con. or Plan Number</u>	<u>Lot or Part of Lot</u>	<u>Acres Owned</u>	<u>Acres Affected</u>	<u>Hectares Affected</u>	<u>Owner's Name</u>	<u>Value of Benefit</u>	<u>Value of Outlet</u>	<u>TOTAL VALUE</u>
2	460-00701	6	Pt. Lot 1	0.57	0.57	0.231	Richard & Donna Valenciuk	\$ 53.00	\$ 13.00	\$ 66.00
5	460-00801	6	Pt. Lot 2	1.18	1.18	0.478	John & Nancy Stitzinger	\$ 110.00	\$ 37.00	\$ 147.00
6	460-00802	6	Pt. Lot 2	1.07	1.07	0.433	Paul & Corinne Molle	\$ 100.00	\$ 39.00	\$ 139.00
8	460-00910	6	Pt. of Lot 2	0.62	0.62	0.251	Joseph & Christine Parent	\$ 58.00	\$ 32.00	\$ 90.00
9	460-00911	6	Pt. Lot 2	0.70	0.70	0.283	Mark Hall & Melissa Weldon	\$ 65.00	\$ 31.00	\$ 96.00
13	460-01210	6	Pt. Lot 4	1.00	1.00	0.405	Shelley Moody	\$ 93.00	\$ 75.00	\$ 168.00
15	460-01301	6	Pt. Lot 4	1.63	1.63	0.660	Amber Norman & Trevor Maheux	\$ 152.00	\$ 108.00	\$ 260.00
17	460-01501	6	Pt. Lot 6	0.92	0.92	0.372	Henry & Megan Lumley	\$ 86.00	\$ 60.00	\$ 146.00
19	460-01505	6	Pt. Lot 5	1.11	1.11	0.449	Arthur Brown	\$ 103.00	\$ 80.00	\$ 183.00
31	490-02000	6	Pt. Lot 8	0.40	0.40	0.162	Donna Merritt	\$ 37.00	\$ 22.00	\$ 59.00
36	500-00102	7	Pt. Lot 7	1.97	1.97	0.797	Lloyd & Catherine Ferguson	\$ -	\$ 194.00	\$ 194.00
38	500-00200	7	Pt. Lot 7	1.12	1.12	0.453	Tyler Menard & Elizabeth Jeffery	\$ 92.00	\$ 107.00	\$ 199.00
39	500-00201	7	Pt. Lot 6	0.67	0.67	0.271	Dorothy Davison	\$ 62.00	\$ 58.00	\$ 120.00
41	500-00300	7	Pt. Lot 6	1.26	1.26	0.510	Philip Keele & Quina Bartoli	\$ 117.00	\$ 104.00	\$ 221.00
44	500-00501	7	Pt. Lot 6	1.52	1.52	0.615	David & Debbie Alexander	\$ 142.00	\$ 134.00	\$ 276.00
45	500-00600	7	Pt. Lot 6	1.00	1.00	0.405	Benjamin & Kaitlyn Watson	\$ 93.00	\$ 78.00	\$ 171.00
47	500-00800	7	Pt. Lot 5	1.20	1.20	0.486	Kari Barnett	\$ 112.00	\$ 64.00	\$ 176.00
50	500-01050	7	Pt. Lot 4	1.22	1.22	0.494	Jennifer & Michael Dinchik	\$ 93.00	\$ 60.00	\$ 153.00
52	500-01150	7	Pt. Lot 3	0.47	0.47	0.190	Dawne Grado	\$ 44.00	\$ 22.00	\$ 66.00
53	500-01201	7	Pt. Lot 3	2.47	2.47	1.000	Daniel & Nina Lavin	\$ 230.00	\$ 75.00	\$ 305.00
55	500-01300	7	Pt. Lot 3	0.91	0.91	0.368	Nina Civitarese & Daniel Bouliane	\$ 85.00	\$ 38.00	\$ 123.00
57	500-01500	7	Pt. Lot 2	4.99	4.99	2.019	Douglas & Andrea Pisciotto	\$ 401.00	\$ 121.00	\$ 522.00
59	500-01610	7	Pt. Lot 2	0.57	0.57	0.231	Ruth Battersby	\$ 53.00	\$ 17.00	\$ 70.00
60	500-01700	7	Pt. Lot 2	0.34	0.34	0.138	Dale & Betty Steed	\$ 32.00	\$ 15.00	\$ 47.00
62	500-01900	7	Pt. Lot 1	1.00	1.00	0.405	Michael & Constance Mulholland	\$ 4.00	\$ 26.00	\$ 30.00
67	500-03400	7	Pt. Lot 7	1.00	1.00	0.405	Kevin Darmon	\$ -	\$ 86.00	\$ 86.00
68	500-03500	7	Pt. Lot 7	2.30	2.30	0.931	James & Diane Ferguson	\$ -	\$ 203.00	\$ 203.00
69	560-00101	STR	Pt. Lot 269	6.73	6.73	2.724	Gary & Laurie Taveirne	\$ -	\$ 321.00	\$ 321.00
70	560-00400	STR	Pt. Lot 267	0.91	0.91	0.368	John & Diane Bachtold	\$ 85.00	\$ 52.00	\$ 137.00

**4. PRIVATELY OWNED - NON-AGRICULTURAL LANDS: *Continued***

Parcel ID <u>Number</u>	Tax Roll <u>Number</u>	Con. or Plan <u>Number</u>	Lot or Part <u>of Lot</u>	Acres <u>Owned</u>	Acres <u>Affected</u>	Hectares <u>Affected</u>	<u>Owner's Name</u>	Value of <u>Benefit</u>	Value of <u>Outlet</u>	TOTAL <u>VALUE</u>
74	560-00800	STR	Pt. Lot 267	0.57	0.57	0.231	Diane Bachtold & Alysa Gould	\$ 53.00	\$ 43.00	\$ 96.00
75	560-00801	STR	Pt. Lot 268	0.86	0.86	0.348	Barbara Van Grinsven	\$ 80.00	\$ 53.00	\$ 133.00
76	560-00890	STR	Pt. Lot 268	1.03	1.03	0.417	Andrea Nikita	\$ 96.00	\$ 52.00	\$ 148.00
80	560-01117	STR	Pt. Lot 269	0.21	0.21	0.085	Neil Arner	\$ -	\$ 17.00	\$ 17.00
81	560-01119	STR	Pt. Lot 269	0.17	0.17	0.069	David Krahn	\$ -	\$ 17.00	\$ 17.00
82	560-01121	STR	Pt. Lot 269	0.17	0.17	0.069	Terry Ramsay & Amy Wiper	\$ -	\$ 17.00	\$ 17.00
83	560-01123	STR	Pt. Lot 269	0.20	0.20	0.081	Heidi & Paul Harnish	\$ -	\$ 17.00	\$ 17.00
84	560-01125	STR	Pt. Lot 269	0.33	0.33	0.134	Cameron & Grace Fast	\$ -	\$ 23.00	\$ 23.00
85	560-01127	STR	Pt. Lot 269	0.34	0.34	0.138	Antonio & Sheila Lopetrone	\$ -	\$ 23.00	\$ 23.00
86	560-01129	STR	Pt. Lot 269	0.19	0.19	0.077	Trevor & Kari Smith	\$ -	\$ 17.00	\$ 17.00
87	560-01131	STR	Pt. Lot 269	0.17	0.17	0.069	Steven & Mckenzee Chortos	\$ -	\$ 17.00	\$ 17.00
88	560-01133	STR	Pt. Lot 269	0.17	0.17	0.069	Jason Clark & Amanda Middleton	\$ -	\$ 17.00	\$ 17.00
89	560-01135	STR	Pt. Lot 269	0.21	0.21	0.085	Michael & Tina O'Connor	\$ -	\$ 18.00	\$ 18.00
90	560-01137	STR	Pt. Lot 269	0.21	0.21	0.085	Eric & Amanda Noel	\$ -	\$ 18.00	\$ 18.00
91	560-01200	STR	Pt. Lot 269	0.17	0.17	0.069	Wilhelm & Jessica Loewen	\$ -	\$ 17.00	\$ 17.00
93	560-01234	STR	Pt. Lot 269	0.21	0.21	0.085	Carlos Correa & Gloria Arango	\$ -	\$ 18.00	\$ 18.00
94	560-01236	STR	Pt. Lot 269	0.18	0.18	0.073	Benjamin & Melissa Fischer	\$ -	\$ 18.00	\$ 18.00
95	560-01238	STR	Pt. Lot 269	0.17	0.17	0.069	Brian & Sharon Birch	\$ -	\$ 17.00	\$ 17.00
96	560-01240	STR	Pt. Lot 269	0.28	0.28	0.113	Alexander & Jamesina Keeney	\$ -	\$ 24.00	\$ 24.00
97	560-01242	STR	Pt. Lot 269	0.26	0.26	0.105	David & Toni Curtis	\$ -	\$ 21.00	\$ 21.00
98	560-01244	STR	Pt. Lot 269	0.31	0.31	0.125	Nancy Garraway & John Etue	\$ -	\$ 22.00	\$ 22.00
99	560-01246	STR	Pt. Lot 269	0.16	0.16	0.065	Al Langstaff	\$ -	\$ 16.00	\$ 16.00
100	560-01248	STR	Pt. Lot 269	0.17	0.17	0.069	Maninder Brar & Prabjheet Kaur	\$ -	\$ 17.00	\$ 17.00
101	560-01249	STR	Pt. Lot 269	0.21	0.21	0.085	Virginia Deman & The Canada Trust Company	\$ -	\$ 18.00	\$ 18.00
102	560-01252	STR	Pt. Lot 269	0.18	0.18	0.073	Connie Bilton	\$ -	\$ 18.00	\$ 18.00
103	560-01254	STR	Pt. Lot 269	0.17	0.17	0.069	Michael & Rita Beaule	\$ -	\$ 17.00	\$ 17.00
104	560-01256	STR	Pt. Lot 269	0.17	0.17	0.069	Keith Cullin	\$ -	\$ 17.00	\$ 17.00
105	560-01258	STR	Pt. Lot 269	0.22	0.22	0.089	Brian Mitchell & Jane Harley	\$ -	\$ 22.00	\$ 22.00
106	560-01260	STR	Pt. Lot 269	0.26	0.26	0.105	Mario & Sonia Mendes	\$ -	\$ 21.00	\$ 21.00

**4. PRIVATELY OWNED - NON-AGRICULTURAL LANDS: *Continued***

Parcel ID <u>Number</u>	Tax Roll <u>Number</u>	Con. or Plan <u>Number</u>	Lot or Part <u>of Lot</u>	Acres <u>Owned</u>	Acres <u>Affected</u>	Hectares <u>Affected</u>	<u>Owner's Name</u>	Value of <u>Benefit</u>	Value of <u>Outlet</u>	TOTAL <u>VALUE</u>
107	560-01262	STR	Pt. Lot 269	0.28	0.28	0.113	Fredy & Corin Menjivar	\$ -	\$ 24.00	\$ 24.00
108	560-01264	STR	Pt. Lot 269	0.22	0.22	0.089	Douglas Dalpe	\$ -	\$ 22.00	\$ 22.00
109	560-01266	STR	Pt. Lot 269	0.17	0.17	0.069	Santino Viselli & Megan Manchester	\$ -	\$ 17.00	\$ 17.00
110	560-01268	STR	Pt. Lot 269	0.17	0.17	0.069	Irene Stewart	\$ -	\$ 17.00	\$ 17.00
111	560-01270	STR	Pt. Lot 269	0.18	0.18	0.073	Joseph & Lindsay Iatonna	\$ -	\$ 18.00	\$ 18.00
112	560-01310	STR	Pt. Lot 269	0.17	0.17	0.069	Christopher South & Maegan Ferranti	\$ -	\$ 17.00	\$ 17.00
113	560-01312	STR	Pt. Lot 269	0.17	0.17	0.069	Justin & Sarah Snelgrove	\$ -	\$ 17.00	\$ 17.00
114	560-01314	STR	Pt. Lot 269	0.20	0.20	0.081	Crystal Hudon & Michael Bondy	\$ -	\$ 17.00	\$ 17.00
115	560-01316	STR	Pt. Lot 269	0.22	0.22	0.089	Tyler & Patricia Driedger	\$ -	\$ 18.00	\$ 18.00
116	560-01318	STR	Pt. Lot 269	0.15	0.15	0.061	Edward & Brenda Ryall	\$ -	\$ 23.00	\$ 23.00
117	560-01320	STR	Pt. Lot 269	0.16	0.16	0.065	James & Nicole Bradley	\$ -	\$ 16.00	\$ 16.00
118	560-01322	STR	Pt. Lot 269	0.21	0.21	0.085	Kevin Anderson & Michele Lowe	\$ -	\$ 17.00	\$ 17.00
119	560-01324	STR	Pt. Lot 269	0.20	0.20	0.081	Roger Desramaux & Megan Watson	\$ -	\$ 17.00	\$ 17.00
120	560-01326	STR	Pt. Lot 269	0.20	0.20	0.081	Bker & Zelia Abdulkader	\$ -	\$ 17.00	\$ 17.00
121	560-01328	STR	Pt. Lot 269	0.19	0.19	0.077	Peter Millar & Jaclyn Garant	\$ -	\$ 17.00	\$ 17.00
122	560-01330	STR	Pt. Lot 269	0.12	0.12	0.049	Cottam Solar Limited	\$ -	\$ 11.00	\$ 11.00
123	560-01334	STR	Pt. Lot 269	0.19	0.19	0.077	Cottam Solar Limited	\$ -	\$ 17.00	\$ 17.00
124	560-01336	STR	Pt. Lot 269	0.21	0.21	0.085	Cottam Solar Limited	\$ -	\$ 19.00	\$ 19.00
125	560-01338	STR	Pt. Lot 269	0.21	0.21	0.085	Cottam Solar Limited	\$ -	\$ 19.00	\$ 19.00
126	560-01340	STR	Pt. Lot 269	0.19	0.19	0.077	Cottam Solar Limited	\$ -	\$ 17.00	\$ 17.00
127	560-01342	STR	Pt. Lot 269	0.18	0.18	0.073	Cottam Solar Limited	\$ -	\$ 16.00	\$ 16.00
128	560-01343	STR	Pt. Lot 269	0.06	0.06	0.024	Cottam Solar Limited	\$ -	\$ 5.00	\$ 5.00
129	560-01344	STR	Pt. Lot 269	0.22	0.22	0.089	Cottam Solar Limited	\$ -	\$ 20.00	\$ 20.00
130	560-01345	STR	Pt. Lot 269	0.30	0.30	0.121	Cottam Solar Limited	\$ -	\$ 27.00	\$ 27.00
131	560-01346	STR	Pt. Lot 269	0.19	0.19	0.077	Cottam Solar Limited	\$ -	\$ 17.00	\$ 17.00
132	560-01348	STR	Pt. Lot 269	0.21	0.21	0.085	Cottam Solar Limited	\$ -	\$ 19.00	\$ 19.00
133	560-01350	STR	Pt. Lot 269	0.31	0.31	0.125	Cottam Solar Limited	\$ -	\$ 28.00	\$ 28.00
134	560-01352	STR	Pt. Lot 269	0.34	0.34	0.138	Cottam Solar Limited	\$ -	\$ 30.00	\$ 30.00
135	560-01354	STR	Pt. Lot 269	0.27	0.27	0.109	Cottam Solar Limited	\$ -	\$ 24.00	\$ 24.00
136	560-01356	STR	Pt. Lot 269	0.21	0.21	0.085	Cottam Solar Limited	\$ -	\$ 19.00	\$ 19.00

**4. PRIVATELY OWNED - NON-AGRICULTURAL LANDS: *Continued***

Parcel ID <u>Number</u>	Tax Roll <u>Number</u>	Con. or Plan <u>Number</u>	Lot or Part <u>of Lot</u>	Acres <u>Owned</u>	Acres <u>Affected</u>	Hectares <u>Affected</u>	Owner's Name	Value of <u>Benefit</u>	Value of <u>Outlet</u>	TOTAL <u>VALUE</u>
137	560-01358	STR	Pt. Lot 269	0.25	0.25	0.101	Cottam Solar Limited	\$ -	\$ 22.00	\$ 22.00
138	560-01360	STR	Pt. Lot 269	0.20	0.20	0.081	Cottam Solar Limited	\$ -	\$ 18.00	\$ 18.00
139	560-01362	STR	Pt. Lot 269	0.18	0.18	0.073	Cottam Solar Limited	\$ -	\$ 16.00	\$ 16.00
140	560-01364	STR	Pt. Lot 269	0.18	0.18	0.073	Cottam Solar Limited	\$ -	\$ 16.00	\$ 16.00
141	560-01366	STR	Pt. Lot 269	0.18	0.18	0.073	Cottam Solar Limited	\$ -	\$ 16.00	\$ 16.00
142	560-01368	STR	Pt. Lot 269	0.19	0.19	0.077	Cottam Solar Limited	\$ -	\$ 17.00	\$ 17.00
143	560-01370	STR	Pt. Lot 269	0.19	0.19	0.077	Cottam Solar Limited	\$ -	\$ 17.00	\$ 17.00
144	560-01372	STR	Pt. Lot 269	0.20	0.20	0.081	Christian Fairey & Hailee Mathies	\$ -	\$ 17.00	\$ 17.00
145	560-01374	STR	Pt. Lot 269	0.18	0.18	0.073	Mary Chapman & Wayne Roy	\$ -	\$ 18.00	\$ 18.00
146	560-01376	STR	Pt. Lot 269	0.18	0.18	0.073	Amy & Robert Purdy	\$ -	\$ 18.00	\$ 18.00
147	560-01378	STR	Pt. Lot 269	0.18	0.18	0.073	Anthony & Sarah Querin	\$ -	\$ 18.00	\$ 18.00
148	560-01380	STR	Pt. Lot 269	0.18	0.18	0.073	Norman Davison & Stephen Laurie	\$ -	\$ 18.00	\$ 18.00
149	560-01382	STR	Pt. Lot 269	0.20	0.20	0.081	Danielle Oles	\$ -	\$ 17.00	\$ 17.00
150	560-02390	STR	Pt. Lot 269	0.17	0.17	0.069	Randy & Lori Duhig	\$ -	\$ 17.00	\$ 17.00
151	560-02400	STR	Pt. Lot 269	0.17	0.17	0.069	Allan & Laura Gagne	\$ -	\$ 17.00	\$ 17.00
152	560-02401	M100	Lot 25	0.34	0.34	0.138	Curtis Bishop	\$ -	\$ 23.00	\$ 23.00
153	560-02402	M100	Lot 24	0.30	0.30	0.121	Wanda Hayes	\$ -	\$ 21.00	\$ 21.00
154	560-02403	M100	Lot 23	0.28	0.28	0.113	Ivan Dets	\$ -	\$ 24.00	\$ 24.00
155	560-02404	M100	Lot 22	0.24	0.24	0.097	Ronald & Debra Mitchell	\$ -	\$ 15.00	\$ 15.00
156	560-02405	M100	Lot 21	0.17	0.17	0.069	Daniel Stanley	\$ -	\$ 17.00	\$ 17.00
157	560-02406	M100	Lot 20	0.19	0.19	0.077	Francesco Incitti & Sofia Montgomery	\$ -	\$ 17.00	\$ 17.00
158	560-02407	M100	Lot 19	0.18	0.18	0.073	John & Krista Armaly	\$ -	\$ 18.00	\$ 18.00
159	560-02408	M100	Lot 18	0.18	0.18	0.073	Shelley Schraeder	\$ -	\$ 18.00	\$ 18.00
160	560-02409	M100	Lot 17	0.17	0.17	0.069	Daniel & Twyla St.Louis	\$ -	\$ 17.00	\$ 17.00
161	560-02410	M100	Lot 16	0.17	0.17	0.069	Florin Serbanescu	\$ -	\$ 17.00	\$ 17.00
162	560-02411	M100	Lot 15	0.17	0.17	0.069	James & Cheryl Sagaert	\$ -	\$ 17.00	\$ 17.00
163	560-02412	M100	Lot 28	0.22	0.22	0.089	Neil & Barbara Banman	\$ -	\$ 18.00	\$ 18.00
164	560-02413	M100	Lot 29	0.22	0.22	0.089	Joseph & Susan Schembri	\$ -	\$ 18.00	\$ 18.00
165	560-02416	M100	Lot 32	0.18	0.18	0.073	Ian & Janet Williams	\$ -	\$ 18.00	\$ 18.00
166	560-02417	M100	Lot 33	0.18	0.18	0.073	Anthony Esposito	\$ -	\$ 18.00	\$ 18.00

**4. PRIVATELY OWNED - NON-AGRICULTURAL LANDS: *Continued***

Parcel ID <u>Number</u>	Tax Roll <u>Number</u>	Con. or Plan <u>Number</u>	Lot or Part <u>of Lot</u>	Acres <u>Owned</u>	Acres <u>Affected</u>	Hectares <u>Affected</u>	<u>Owner's Name</u>	Value of <u>Benefit</u>	Value of <u>Outlet</u>	TOTAL <u>VALUE</u>
167	560-02418	M100	Lot 34	0.18	0.18	0.073	Richard & Brenda Summerfield	\$ -	\$ 18.00	\$ 18.00
168	560-02419	M100	Lot 35	0.18	0.18	0.073	Mary Squance	\$ -	\$ 18.00	\$ 18.00
169	560-02420	M100	Lot 36	0.18	0.18	0.073	Carol Montello	\$ -	\$ 18.00	\$ 18.00
170	560-02421	M100	Lot 37	0.18	0.18	0.073	James & Ginger Bogdon	\$ -	\$ 18.00	\$ 18.00
171	560-02422	M100	Lot 38	0.18	0.18	0.073	John & Bonnie Marn	\$ -	\$ 18.00	\$ 18.00
172	560-02423	M100	Lot 14	0.19	0.19	0.077	Johan & Sarah Wiebe	\$ -	\$ 17.00	\$ 17.00
173	560-02424	M100	Lot 13	0.17	0.17	0.069	Joseph Foley & Volha Baranava	\$ -	\$ 17.00	\$ 17.00
174	560-02425	M100	Lot 12	0.17	0.17	0.069	Rojina & Ruth Veeresar	\$ -	\$ 17.00	\$ 17.00
175	560-02426	M100	Lot 11	0.17	0.17	0.069	David & Karen Middleton	\$ -	\$ 17.00	\$ 17.00
176	560-02427	M100	Lot 10	0.17	0.17	0.069	Timothy & Jennine Meloche	\$ -	\$ 17.00	\$ 17.00
177	560-02428	M100	Lot 9	0.17	0.17	0.069	Jason & Sherri Dutot	\$ -	\$ 17.00	\$ 17.00
178	560-02429	M100	Lot 8	0.19	0.19	0.077	Ralph & Veronica Devries	\$ -	\$ 17.00	\$ 17.00
179	560-02430	M100	Lot 7	0.17	0.17	0.069	Donald & Mary Bryant	\$ -	\$ 17.00	\$ 17.00
180	560-02431	M100	Lot 6	0.20	0.20	0.081	David Pereira & Kathleen Dennison	\$ -	\$ 17.00	\$ 17.00
181	560-02432	M100	Lot 5	0.18	0.18	0.073	Becky & Corey Coussens	\$ -	\$ 18.00	\$ 18.00
182	560-02433	M100	Lot 4	0.18	0.18	0.073	Shannon Dalgleish & Robert Scott	\$ -	\$ 18.00	\$ 18.00
183	560-02434	M100	Lot 3	0.18	0.18	0.073	Timothy & Sherry Rudge	\$ -	\$ 18.00	\$ 18.00
184	560-02435	M100	Lot 2	0.21	0.21	0.085	Cornelio & Anna Fehr	\$ -	\$ 17.00	\$ 17.00
185	560-02436	STR	Pt. Lot 269	0.21	0.21	0.085	Jake Fehr	\$ -	\$ 17.00	\$ 17.00
186	560-02437	STR	Pt. Lot 269	0.17	0.17	0.069	David Barwick & Angela Mulcaster-Boer	\$ -	\$ 17.00	\$ 17.00
187	560-02438	STR	Pt. Lot 269	0.17	0.17	0.069	Steven Moon & Gail Donais	\$ -	\$ 17.00	\$ 17.00
188	560-02439	STR	Pt. Lot 269	0.17	0.17	0.069	Gerald & Tammy Poirier	\$ -	\$ 17.00	\$ 17.00
189	560-02440	STR	Pt. Lot 269	0.17	0.17	0.069	Jeffrey & Amanda Ferreira	\$ -	\$ 17.00	\$ 17.00
190	560-02441	STR	Pt. Lot 269	0.21	0.21	0.085	Steven & Cynthia Ghikadis	\$ -	\$ 17.00	\$ 17.00
191	560-02442	STR	Pt. Lot 269	0.20	0.20	0.081	William & Sarah Smith	\$ -	\$ 17.00	\$ 17.00
192	560-02443	STR	Pt. Lot 269	0.19	0.19	0.077	Robert & Shannon Belleau	\$ -	\$ 17.00	\$ 17.00
193	560-02444	STR	Pt. Lot 269	0.19	0.19	0.077	Daniel & Shelby Wilkins	\$ -	\$ 17.00	\$ 17.00
194	560-02445	STR	Pt. Lot 269	0.19	0.19	0.077	Chad Gray	\$ -	\$ 17.00	\$ 17.00
195	560-02446	STR	Pt. Lot 269	0.19	0.19	0.077	Gary & Patricia Bain	\$ -	\$ 17.00	\$ 17.00
196	560-02447	STR	Pt. Lot 269	0.19	0.19	0.077	Herbert Bernhardt & Kathleen Sauter	\$ -	\$ 17.00	\$ 17.00

**4. PRIVATELY OWNED - NON-AGRICULTURAL LANDS: *Continued***

Parcel ID <u>Number</u>	Tax Roll <u>Number</u>	Con. or Plan <u>Number</u>	Lot or Part <u>of Lot</u>	Acres <u>Owned</u>	Acres <u>Affected</u>	Hectares <u>Affected</u>	Owner's Name	Value of <u>Benefit</u>	Value of <u>Outlet</u>	TOTAL <u>VALUE</u>
197	560-02448	STR	Pt. Lot 269	0.19	0.19	0.077	Douglas & Ann Sabga	\$ -	\$ 17.00	\$ 17.00
198	560-02449	STR	Pt. Lot 269	0.19	0.19	0.077	Jacob Hildebrant & Helen Boldt	\$ -	\$ 17.00	\$ 17.00
199	560-02450	STR	Pt. Lot 269	0.19	0.19	0.077	David & Sabrina Green	\$ -	\$ 17.00	\$ 17.00
200	560-02451	STR	Pt. Lot 269	0.20	0.20	0.081	Kyle Sayers	\$ -	\$ 17.00	\$ 17.00
201	560-02452	STR	Pt. Lot 269	0.21	0.21	0.085	Gregory Anger & Samantha Tofflemire	\$ -	\$ 17.00	\$ 17.00
202	560-02453	STR	Pt. Lot 269	0.21	0.21	0.085	Wayne & Ellen Hyland	\$ -	\$ 17.00	\$ 17.00
203	560-02454	STR	Pt. Lot 269	0.20	0.20	0.081	Charles & Jennifer Tilden	\$ -	\$ 17.00	\$ 17.00
204	560-02455	STR	Pt. Lot 269	0.20	0.20	0.081	Faye St. Pierre	\$ -	\$ 17.00	\$ 17.00
205	560-02456	STR	Pt. Lot 269	0.20	0.20	0.081	Dave & Sue Maedel	\$ -	\$ 17.00	\$ 17.00
206	560-02457	STR	Pt. Lot 269	0.20	0.20	0.081	Roger Mercer & Luwana Mealing-Mercer	\$ -	\$ 17.00	\$ 17.00
207	560-02458	STR	Pt. Lot 269	0.20	0.20	0.081	Robert & Laura Kapetanov	\$ -	\$ 17.00	\$ 17.00
208	560-02459	STR	Pt. Lot 269	0.20	0.20	0.081	Ismael Oozeer & Bodeha Booze-Oozeer	\$ -	\$ 17.00	\$ 17.00
209	560-02460	STR	Pt. Lot 269	0.24	0.24	0.097	Patrick & Debra Brophy	\$ -	\$ 16.00	\$ 16.00
210	560-02461	STR	Pt. Lot 269	0.34	0.34	0.138	Harry & Bonnie Terzopoulos	\$ -	\$ 23.00	\$ 23.00
211	560-02462	STR	Pt. Lot 269	0.18	0.18	0.073	Dean & Sandra Pearson	\$ -	\$ 18.00	\$ 18.00
212	560-02463	STR	Pt. Lot 269	0.23	0.23	0.093	Keith & Elizabeth Cornell	\$ -	\$ 15.00	\$ 15.00
213	560-02464	STR	Pt. Lot 269	0.17	0.17	0.069	Joshua & Michelle Weeks	\$ -	\$ 17.00	\$ 17.00
214	560-02465	STR	Pt. Lot 269	0.17	0.17	0.069	Victoria Davison & John Hunter	\$ -	\$ 17.00	\$ 17.00
215	560-02466	STR	Pt. Lot 269	0.20	0.20	0.081	Shawn & Angie Couillon	\$ -	\$ 17.00	\$ 17.00
216	560-02467	STR	Pt. Lot 269	0.24	0.24	0.097	Donald & Kailyn Neal	\$ -	\$ 16.00	\$ 16.00
217	560-02468	STR	Pt. Lot 269	0.24	0.24	0.097	Michael Richmond & Andrea Balkwill	\$ -	\$ 16.00	\$ 16.00
218	560-02469	STR	Pt. Lot 269	0.24	0.24	0.097	Dwane & Suzanne Osborne	\$ -	\$ 16.00	\$ 16.00
219	560-02470	STR	Pt. Lot 269	0.17	0.17	0.069	Brian Cinat & Karlea Beresh	\$ -	\$ 17.00	\$ 17.00
220	560-02471	STR	Pt. Lot 269	0.18	0.18	0.073	Glenn & Karen Quinlan	\$ -	\$ 18.00	\$ 18.00
221	560-02472	STR	Pt. Lot 269	0.18	0.18	0.073	Florence Rivest	\$ -	\$ 18.00	\$ 18.00
222	560-02473	STR	Pt. Lot 269	0.19	0.19	0.077	Dina Pantoja & Oscar Molina	\$ -	\$ 17.00	\$ 17.00
223	560-02474	STR	Pt. Lot 269	0.19	0.19	0.077	August & Lorrie Hoekstra	\$ -	\$ 17.00	\$ 17.00
224	560-02475	STR	Pt. Lot 269	0.19	0.19	0.077	Dennis & Catherine Dugdale	\$ -	\$ 17.00	\$ 17.00
225	560-02476	STR	Pt. Lot 269	0.19	0.19	0.077	Karen Allen	\$ -	\$ 17.00	\$ 17.00
226	560-02477	STR	Pt. Lot 269	0.19	0.19	0.077	Timothy Kelly & Shannon Dubai-Kelly	\$ -	\$ 17.00	\$ 17.00

**4. PRIVATELY OWNED - NON-AGRICULTURAL LANDS: *Continued***

Parcel ID <u>Number</u>	Tax Roll <u>Number</u>	Con. or Plan <u>Number</u>	Lot or Part <u>of Lot</u>	Acres <u>Owned</u>	Acres <u>Affected</u>	Hectares <u>Affected</u>	<u>Owner's Name</u>	Value of <u>Benefit</u>	Value of <u>Outlet</u>	TOTAL <u>VALUE</u>
227	560-02478	STR	Pt. Lot 269	0.19	0.19	0.077	Brandon Sonoski & Shania Taylor	\$ -	\$ 17.00	\$ 17.00
228	560-02479	STR	Pt. Lot 269	0.19	0.19	0.077	Jason & Andrea Powell	\$ -	\$ 17.00	\$ 17.00
229	560-02480	STR	Pt. Lot 269	0.19	0.19	0.077	Tarcisio & Mary-Jo Morassut	\$ -	\$ 17.00	\$ 17.00
230	560-02481	STR	Pt. Lot 269	0.19	0.19	0.077	Salvatore Peralta & Carlee Fleming	\$ -	\$ 17.00	\$ 17.00
231	560-02482	STR	Pt. Lot 269	0.19	0.19	0.077	Robert & Annette Gabriele	\$ -	\$ 17.00	\$ 17.00
232	560-02483	STR	Pt. Lot 269	0.25	0.25	0.101	Linda Fick & Nancy Kujawski	\$ -	\$ 16.00	\$ 16.00
233	560-02484	STR	Pt. Lot 269	0.22	0.22	0.089	Denis Sterling	\$ -	\$ 18.00	\$ 18.00
234	560-02485	STR	Pt. Lot 269	0.20	0.20	0.081	Jacob & Helena Froese	\$ -	\$ 17.00	\$ 17.00
235	560-02486	STR	Pt. Lot 269	0.20	0.20	0.081	Steven & Diane Doyle	\$ -	\$ 17.00	\$ 17.00
236	560-02487	STR	Pt. Lot 269	0.20	0.20	0.081	Derek & Diane Cameron	\$ -	\$ 17.00	\$ 17.00
237	560-02488	STR	Pt. Lot 269	0.18	0.18	0.073	Cindy Mills	\$ -	\$ 18.00	\$ 18.00
238	560-02489	STR	Pt. Lot 269	0.18	0.18	0.073	Mark & Tammy Clifford	\$ -	\$ 18.00	\$ 18.00
239	560-02490	STR	Pt. Lot 269	0.18	0.18	0.073	Joseph & Helga Bondy	\$ -	\$ 18.00	\$ 18.00
240	560-02491	STR	Pt. Lot 269	0.18	0.18	0.073	Richard Ferrato	\$ -	\$ 18.00	\$ 18.00
241	560-02492	STR	Pt. Lot 269	0.20	0.20	0.081	Randy & Tracey Baillargeon	\$ -	\$ 17.00	\$ 17.00
242	560-02493	STR	Pt. Lot 269	0.19	0.19	0.077	Robert & Julie Wilson	\$ -	\$ 17.00	\$ 17.00
243	560-02494	STR	Pt. Lot 269	0.19	0.19	0.077	Daniel & Melissa Langis	\$ -	\$ 17.00	\$ 17.00
244	560-02495	STR	Pt. Lot 269	0.19	0.19	0.077	David & Irene Doody	\$ -	\$ 17.00	\$ 17.00
245	560-02496	STR	Pt. Lot 269	0.19	0.19	0.077	William & Natalie Simon	\$ -	\$ 17.00	\$ 17.00
246	560-02497	STR	Pt. Lot 269	0.22	0.22	0.089	Craig & Jennifer Newman	\$ -	\$ 18.00	\$ 18.00
247	560-02498	STR	Pt. Lot 269	0.29	0.29	0.117	Lizabeth Matte	\$ -	\$ 25.00	\$ 25.00
248	560-02499	STR	Pt. Lot 269	0.17	0.17	0.069	Richard Dunn	\$ -	\$ 17.00	\$ 17.00
249	560-02500	M100	Lot 1	0.36	0.36	0.146	William & Cheryl Carmichael	\$ -	\$ 26.00	\$ 26.00
250	560-02501	STR	Pt. Lot 269	0.19	0.19	0.077	Derek & Kristen Freeman	\$ -	\$ 17.00	\$ 17.00
251	560-02503	STR	Pt. Lot 269	0.17	0.17	0.069	Dean & Patricia Dame	\$ -	\$ 17.00	\$ 17.00
252	560-02504	STR	Pt. Lot 269	0.17	0.17	0.069	Arthur Delaney	\$ -	\$ 17.00	\$ 17.00
253	560-02505	STR	Pt. Lot 269	0.17	0.17	0.069	Ted & Carleen Hunter	\$ -	\$ 17.00	\$ 17.00
254	560-02506	STR	Pt. Lot 269	0.17	0.17	0.069	Brian & Lynn Higgins	\$ -	\$ 17.00	\$ 17.00
255	560-02507	STR	Pt. Lot 269	0.17	0.17	0.069	Coreen Sykes & Paul Epp	\$ -	\$ 17.00	\$ 17.00
256	560-02508	STR	Pt. Lot 269	0.17	0.17	0.069	Christopher & Mallory Branov	\$ -	\$ 17.00	\$ 17.00

**4. PRIVATELY OWNED - NON-AGRICULTURAL LANDS: *Continued***

Parcel ID <u>Number</u>	Tax Roll <u>Number</u>	Con. or Plan <u>Number</u>	Lot or Part <u>of Lot</u>	Acres <u>Owned</u>	Acres <u>Affected</u>	Hectares <u>Affected</u>	<u>Owner's Name</u>	Value of <u>Benefit</u>	Value of <u>Outlet</u>	TOTAL <u>VALUE</u>
257	560-02509	STR	Pt. Lot 269	0.17	0.17	0.069	Andy & Christine Faraci	\$ -	\$ 17.00	\$ 17.00
258	560-02510	STR	Pt. Lot 269	0.17	0.17	0.069	Margaret Mccord	\$ -	\$ 17.00	\$ 17.00
259	560-02511	STR	Pt. Lot 269	0.17	0.17	0.069	Erin Livingston	\$ -	\$ 17.00	\$ 17.00
260	560-02512	STR	Pt. Lot 269	0.17	0.17	0.069	Ronan & Melanie Oliver	\$ -	\$ 17.00	\$ 17.00
261	560-02513	STR	Pt. Lot 269	0.17	0.17	0.069	John & Carol Quinn	\$ -	\$ 17.00	\$ 17.00
262	560-02600	TRS	Pt. Lot 269	0.49	0.49	0.198	Ricky & Brenda Garant	\$ -	\$ 31.00	\$ 31.00
263	560-02601	STR	Pt. Lot 269	0.35	0.35	0.142	Kenneth & Rosemary Roadhouse	\$ -	\$ 25.00	\$ 25.00
264	560-02620	STR	Pt. Lot 269	0.39	0.39	0.158	Maria Klaas	\$ -	\$ 18.00	\$ 18.00
266	560-02660	STR	Pt. Lot 269	2.07	2.07	0.838	Town of Kingsville	\$ -	\$ 94.00	\$ 94.00
267	560-02700	STR	Pt. Lot 269	0.64	0.64	0.259	Gary & Maria Klaas	\$ -	\$ 35.00	\$ 35.00
269	560-02900	TRS	Pt. Lot 269	0.54	0.54	0.219	David Parise & Ryan McLeod	\$ -	\$ 46.00	\$ 46.00
270	560-02901	STR	Pt. Lot 268	0.46	0.46	0.186	Essex County Community Living	\$ -	\$ 36.00	\$ 36.00
271	560-02902	STR	Pt. Lot 268	0.46	0.46	0.186	John & Michelle Ivanisko	\$ -	\$ 36.00	\$ 36.00
273	560-03001	STR	Pt. Lot 268	0.83	0.83	0.336	Dennis Mostoway & Dawn Reaume	\$ -	\$ 52.00	\$ 52.00
274	560-03100	STR	Pt. Lot 268	1.00	1.00	0.405	Mark Voligny & Michelle Winger	\$ -	\$ 62.00	\$ 62.00
275	560-03101	STR	Pt. Lot 268	0.69	0.69	0.279	Preston Harris & Germaine Gould	\$ -	\$ 55.00	\$ 55.00
277	560-03300	STR	Pt. Lot 268	1.89	1.89	0.765	Beverley & Kristine Iles	\$ -	\$ 99.00	\$ 99.00
278	560-03350	STR	Pt. Lot 268	0.46	0.46	0.186	Pedro & Aganetha Dyck	\$ -	\$ 30.00	\$ 30.00
282	560-03520	STR	Lot 268	1.24	1.24	0.502	Nicholas & Erin Hayes	\$ -	\$ 67.00	\$ 67.00
285	560-03800	STR	Pt. Lot 267	0.48	0.48	0.194	Peter & Elizabeth Peters	\$ -	\$ 34.00	\$ 34.00
286	560-03900	TRS	Pt. Lot 267	0.42	0.42	0.170	Cody Haynes	\$ -	\$ 30.00	\$ 30.00
288	560-04100	STR	Pt. Lot 267	0.75	0.75	0.304	Rita & Ralph Wigle	\$ -	\$ 43.00	\$ 43.00
<b>Total on Privately Owned - Non-Agricultural Lands.....</b>								<b>\$ 2,731.00</b>	<b>\$ 6,445.00</b>	<b>\$ 9,176.00</b>

**5. PRIVATELY OWNED - AGRICULTURAL LANDS (grantable):**

Parcel ID <u>Number</u>	Tax Roll <u>Number</u>	Con. or Plan <u>Number</u>	Lot or Part <u>of Lot</u>	Acres <u>Owned</u>	Acres <u>Affected</u>	Hectares <u>Affected</u>	<u>Owner's Name</u>	Value of <u>Benefit</u>	Value of <u>Outlet</u>	TOTAL <u>VALUE</u>
1	460-00700	6	Pt. Lot 1	50.00	25.00	10.117	Andre & Colette Cazabon	\$ 350.00	\$ 164.00	\$ 514.00
3	460-00702	6	Pt. Lot 1	49.03	49.03	19.842	Richard & Donna Valenciuk	\$ 1,331.00	\$ 349.00	\$ 1,680.00
4	460-00800	6	Pt. Lot 2	47.29	32.29	13.068	Burstyn Farms Ltd.	\$ 413.00	\$ 186.00	\$ 599.00
7	460-00900	6	Pt. Lot 2	48.20	33.20	13.436	Matthew Hyland	\$ 458.00	\$ 191.00	\$ 649.00
10	460-01000	6	Pt. Lot 3	99.54	14.54	5.884	Stephen Ferguson	\$ 477.00	\$ 282.00	\$ 759.00
12	460-01200	6	Pt. Lot 4	49.60	20.10	8.134	Joslyne Rizza	\$ 473.00	\$ 389.00	\$ 862.00
14	460-01300	6	Pt. Lot 4	97.91	17.91	7.248	Lawrence & Joseph Miehls	\$ 437.00	\$ 389.00	\$ 826.00
16	460-01400	6	Pt. Lot 5	99.55	19.95	8.074	Ronald & Karen Kendrick	\$ 505.00	\$ 457.00	\$ 962.00
18	460-01504	6	Pt. Lot 5	49.47	8.94	3.618	Edward Ross	\$ 206.00	\$ 208.00	\$ 414.00
20	460-01511	6	Pt. Lot 5	50.58	10.05	4.067	Edward Ross	\$ 255.00	\$ 248.00	\$ 503.00
21	460-01600	6	Pt. Lot 6	98.53	18.53	7.499	Davin & Nicole Kendrick	\$ 462.00	\$ 572.00	\$ 1,034.00
22	460-01700	6	Pt. Lot 6	49.08	20.00	8.094	Henry Renaud	\$ 508.00	\$ 617.00	\$ 1,125.00
23	490-00800	6	Pt. Lots 8 & 9	200.00	102.00	41.279	Milton Hillier	\$ 1,144.00	\$ 1,749.00	\$ 2,893.00
24	490-01300	7	Pt. Lot 8	50.00	50.00	20.235	James Ferguson	\$ 1,185.00	\$ 785.00	\$ 1,970.00
25	490-01400	7	Pt. Lot 8	40.00	40.00	16.188	James & Diane Ferguson	\$ -	\$ 683.00	\$ 683.00
26	490-01500	7	Pt. Lot 8	62.59	41.00	16.592	Brent & Michelle Ramsay	\$ -	\$ 669.00	\$ 669.00
27	490-01700	7	Pt. Lot 9	54.69	54.69	22.133	Donna & Steven Merritt	\$ 164.00	\$ 857.00	\$ 1,021.00
28	490-01800	7	Pt. Lots 9 and 10	59.71	59.71	24.164	Donna & Steven Merritt	\$ 1,467.00	\$ 1,073.00	\$ 2,540.00
29	490-01900	6	Pt. Lot 7	97.51	14.00	5.666	Neil & Sharla Ferguson	\$ 538.00	\$ 257.00	\$ 795.00
32	490-02100	6	Pt. Lot 8	66.70	34.70	14.043	Dorothy & Laurence Merritt	\$ 447.00	\$ 660.00	\$ 1,107.00
33	490-02200	6	Pt. Lot 8	1.37	1.37	0.554	Laurence & Dorothy Merritt	\$ 59.00	\$ 84.00	\$ 143.00
34	490-02300	6	Lot 9 & Pt. Lot 10	103.25	66.25	26.811	Stevan Barisic	\$ 842.00	\$ 1,308.00	\$ 2,150.00
35	500-00101	7	Pt. Lot 7	44.73	44.73	18.102	Cottam Radiator Ltd. & James Ferguson	\$ 585.00	\$ 1,269.00	\$ 1,854.00
37	500-00150	7	Pt. Lot 7	50.59	25.50	10.320	James & Jeannette Sylvestre	\$ 290.00	\$ 705.00	\$ 995.00
40	500-00250	7	Pt. Lot 7	50.25	24.38	9.866	James Sylvestre	\$ 247.00	\$ 667.00	\$ 914.00
42	500-00400	7	Pt. Lot 6	71.55	50.00	20.235	David & Debbie Alexander	\$ 332.00	\$ 1,294.00	\$ 1,626.00
43	500-00500	7	Pt. Lot 6	88.47	88.47	35.803	David & Jason Alexander	\$ 609.00	\$ 2,236.00	\$ 2,845.00
46	500-00700	7	Pt. Lot 5	48.70	48.70	19.709	Richard & Phyllis Barnett	\$ 473.00	\$ 1,145.00	\$ 1,618.00
48	500-00900	7	Pt. Lot 5	25.00	25.00	10.117	Michael & Patricia Hamlin	\$ 576.00	\$ 756.00	\$ 1,332.00
49	500-01000	7	Pt. Lot 4	120.49	86.00	34.804	Robert & Jerry Vriesacker	\$ 1,122.00	\$ 1,406.00	\$ 2,528.00

**5. PRIVATELY OWNED - AGRICULTURAL LANDS (grantable): *Continued***

Parcel ID <u>Number</u>	Tax Roll <u>Number</u>	Con. or Plan <u>Number</u>	Lot or Part <u>of Lot</u>	Acres <u>Owned</u>	Acres <u>Affected</u>	Hectares <u>Affected</u>	Owner's Name	Value of <u>Benefit</u>	Value of <u>Outlet</u>	TOTAL <u>VALUE</u>
51	500-01100	7	Pt. Lot 3	50.00	50.00	20.235	Brian & Dorene Lester	\$ 572.00	\$ 595.00	\$ 1,167.00
54	500-01202	7	Pt. Lot 3	46.85	46.85	18.960	Karen & Adam Schmitchen	\$ 406.00	\$ 610.00	\$ 1,016.00
56	500-01400	7	Pt. Lot 2	45.00	45.00	18.211	Bradley & Ruth Salter	\$ 380.00	\$ 518.00	\$ 898.00
58	500-01600	7	Pt. Lot 2	24.18	24.18	9.786	Sharon & Eric Mulcaster	\$ 252.00	\$ 244.00	\$ 496.00
61	500-01800	7	Pt. Lots 1 & 2	48.00	42.00	16.997	Todd Gee & Kelly Dunn	\$ 557.00	\$ 349.00	\$ 906.00
63	500-02900	7	Pt. Lot 5	74.48	56.50	22.865	Robert & David Alexander	\$ -	\$ 1,161.00	\$ 1,161.00
64	500-03000	7	Pt. Lot 5	47.93	28.17	11.400	Donald & Cora Bertram	\$ -	\$ 612.00	\$ 612.00
65	500-03100	7	Pt. Lot 6	34.50	11.00	4.452	Jason & Laura Alexander	\$ -	\$ 265.00	\$ 265.00
66	500-03300	7	Pt. Lot 7	48.98	30.00	12.141	Steckle Farms Limited	\$ -	\$ 865.00	\$ 865.00
71	560-00500	STR	Pt. Lot 267	64.76	34.76	14.067	John & David Bachtold	\$ 403.00	\$ 854.00	\$ 1,257.00
72	560-00600	STR	Pt. Lot 267	25.10	25.10	10.158	Larry & Tammy Meloche	\$ 295.00	\$ 627.00	\$ 922.00
73	560-00700	STR	Pt. Lot 267	24.50	24.50	9.915	John & David Bachtold	\$ 264.00	\$ 519.00	\$ 783.00
77	560-00900	STR	Pt. Lot 268	50.00	50.00	20.235	Chevalier Farms & Elevator Ltd.	\$ 617.00	\$ 936.00	\$ 1,553.00
78	560-01000	STR	Pt. Lot 269	90.07	90.07	36.451	Richard & Sharon Kendrick	\$ 175.00	\$ 1,646.00	\$ 1,821.00
79	560-01002	STR	Pt. Lot 269	6.98	6.98	2.825	Richard & Sharon Kendrick	\$ -	\$ 119.00	\$ 119.00
268	560-02800	STR	Pt. Lot 269	11.13	11.13	4.504	Jacob & Yola Pretli	\$ -	\$ 309.00	\$ 309.00
276	560-03200	STR	Pt. Lot 268	45.31	45.31	18.337	Margery Macgregor	\$ -	\$ 916.00	\$ 916.00
280	560-03420	STR	Pt. Lot 268	22.23	22.23	8.996	Leo Hayes	\$ -	\$ 470.00	\$ 470.00
281	560-03500	STR	Pt. Lot 268	71.89	71.89	29.093	Charles & Craig Chevalier	\$ 493.00	\$ 1,392.00	\$ 1,885.00
284	560-03700	TRS	Pt. Lot 267	25.00	25.00	10.117	George Newman	\$ -	\$ 884.00	\$ 884.00
287	560-04000	STR	Pt. Lot 267	18.50	18.50	7.487	Gerald & Iris Pillon	\$ -	\$ 427.00	\$ 427.00
289	560-04200	STR	Pt. Lot 267	24.24	24.24	9.810	Milka Jezdic	\$ -	\$ 567.00	\$ 567.00
<b>Total on Privately Owned - Agricultural Lands (grantable).....</b>								<b>\$ 20,369.00</b>	<b>\$ 36,540.00</b>	<b>\$ 56,909.00</b>

**5. PRIVATELY OWNED - AGRICULTURAL LANDS (non-grantable):**

Parcel ID <u>Number</u>	Tax Roll <u>Number</u>	Con. or Plan <u>Number</u>	Lot or Part <u>of Lot</u>	Acres <u>Owned</u>	Acres <u>Affected</u>	Hectares <u>Affected</u>	Owner's Name	Value of <u>Benefit</u>	Value of <u>Outlet</u>	TOTAL <u>VALUE</u>
11	460-01100	6	Pt. Lot 3	99.54	14.54	5.88	Marian Maslin	\$ 477.00	\$ 247.00	\$ 724.00
265	560-02653	STR	Pt. Lot 269	24.25	24.25	9.81	1575742 Ontario Ltd.	\$ -	\$ 308.00	\$ 308.00
272	560-03000	STR	Pt. Lot 268	10.01	10.01	4.05	Justin Ireland & Jamie Meunier	\$ -	\$ 217.00	\$ 217.00
279	560-03400	STR	Pt. Lot 268	3.38	3.38	1.37	Leo Hayes	\$ -	\$ 93.00	\$ 93.00
283	560-03600	STR	Pt. Lot 268	7.25	7.25	2.93	Daniel & Jenny Nantais	\$ -	\$ 145.00	\$ 145.00
<b>Total on Privately Owned - Agricultural Lands (non-grantable).....</b>								<b>\$ 477.00</b>	<b>\$ 1,010.00</b>	<b>\$ 1,487.00</b>
<b>TOTAL ASSESSMENT</b>				<b>2179.42</b>	<b>881.998</b>			<b>\$ 35,000.00</b>	<b>\$ 65,000.00</b>	<b>\$ 100,000.00</b>

## **APPENDIX D-2**

### **Future Maintenance Schedule**

Upstream Section (Station 0+000.0 to Station 2+870.9)

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FUTURE MAINTENANCE SCHEDULE OF ASSESSMENT

Upstream Section (Station 0+000.0 to Station 2+870.9)

**2. ONTARIO LANDS:**

Parcel ID <u>Number</u>	Tax Roll <u>Number</u>	Con. or Plan <u>Number</u>	Lot or Part <u>of Lot</u>	Acres <u>Owned</u>	Acres <u>Affected</u>	Hectares <u>Affected</u>	Owner's Name	Value of <u>Benefit</u>	Value of <u>Outlet</u>	TOTAL <u>VALUE</u>
Highway No. 3					38.24	15.475	Ministry of Transportation Ontario	\$ 3,316.00	\$ 3,886.00	\$ 7,202.00
<b>Total on Ontario Lands.....</b>										
								<b>\$ 3,316.00</b>	<b>\$ 3,886.00</b>	<b>\$ 7,202.00</b>

**3. MUNICIPAL LANDS:**

Parcel ID <u>Number</u>	Tax Roll <u>Number</u>	Con. or Plan <u>Number</u>	Lot or Part <u>of Lot</u>	Acres <u>Owned</u>	Acres <u>Affected</u>	Hectares <u>Affected</u>	Owner's Name	Value of <u>Benefit</u>	Value of <u>Outlet</u>	TOTAL <u>VALUE</u>
County Road 27 West (Cottom Sideroad)					25.30	10.239	County of Essex	\$ 4,304.00	\$ 1,438.00	\$ 5,742.00
County Road 34 East (Talbot Road)					3.23	1.307	County of Essex	\$ -	\$ 366.00	\$ 366.00
South Talbot Road					13.34	5.400	Town of Kingsville	\$ 1,294.00	\$ 1,113.00	\$ 2,407.00
Marsh Sideroad					5.46	2.211	Town of Kingsville	\$ 182.00	\$ 341.00	\$ 523.00
McCain Sideroad					0.62	0.251	Town of Kingsville	\$ 133.00	\$ 42.00	\$ 175.00
Road 7 West					4.97	2.010	Town of Kingsville	\$ 1,061.00	\$ 339.00	\$ 1,400.00
Clark Street					1.72	0.696	Town of Kingsville	\$ -	\$ 207.00	\$ 207.00
Lyle Street					1.19	0.482	Town of Kingsville	\$ -	\$ 143.00	\$ 143.00
Francis Street					2.12	0.859	Town of Kingsville	\$ -	\$ 255.00	\$ 255.00
William Street					1.93	0.781	Town of Kingsville	\$ -	\$ 232.00	\$ 232.00
Veriena Boulevard					1.53	0.618	Town of Kingsville	\$ -	\$ 183.00	\$ 183.00
Dianne Street					0.76	0.306	Town of Kingsville	\$ -	\$ 91.00	\$ 91.00
Sara Street					0.33	0.135	Town of Kingsville	\$ -	\$ 40.00	\$ 40.00
Joaney Lane					1.72	0.694	Town of Kingsville	\$ -	\$ 206.00	\$ 206.00
<b>Total on Municipal Lands.....</b>										
								<b>\$ 6,974.00</b>	<b>\$ 4,996.00</b>	<b>\$ 11,970.00</b>

**4. PRIVATELY OWNED - NON-AGRICULTURAL LANDS:**

<u>Parcel ID Number</u>	<u>Tax Roll Number</u>	<u>Con. or Plan Number</u>	<u>Lot or Part of Lot</u>	<u>Acres Owned</u>	<u>Acres Affected</u>	<u>Hectares Affected</u>	<u>Owner's Name</u>	<u>Value of Benefit</u>	<u>Value of Outlet</u>	<u>TOTAL VALUE</u>
31	490-02000	6	Pt. Lot 8	0.40	0.40	0.162	Donna Merritt	\$ 43.00	\$ 20.00	\$ 63.00
69	560-00101	STR	Pt. Lot 269	6.73	6.73	2.724	Gary & Laurie Taveirne	\$ -	\$ 293.00	\$ 293.00
70	560-00400	STR	Pt. Lot 267	0.91	0.91	0.368	John & Diane Bachtold	\$ 97.00	\$ 47.00	\$ 144.00
74	560-00800	STR	Pt. Lot 267	0.57	0.57	0.231	Diane Bachtold & Alysa Gould	\$ 61.00	\$ 39.00	\$ 100.00
75	560-00801	STR	Pt. Lot 268	0.86	0.86	0.348	Barbara Van Grinsven	\$ 92.00	\$ 48.00	\$ 140.00
76	560-00890	STR	Pt. Lot 268	1.03	1.03	0.417	Andrea Nikita	\$ 110.00	\$ 48.00	\$ 158.00
80	560-01117	STR	Pt. Lot 269	0.21	0.21	0.085	Neil Arner	\$ -	\$ 16.00	\$ 16.00
81	560-01119	STR	Pt. Lot 269	0.17	0.17	0.069	David Krahm	\$ -	\$ 15.00	\$ 15.00
82	560-01121	STR	Pt. Lot 269	0.17	0.17	0.069	Terry Ramsay & Amy Wiper	\$ -	\$ 15.00	\$ 15.00
83	560-01123	STR	Pt. Lot 269	0.20	0.20	0.081	Heidi & Paul Harnish	\$ -	\$ 16.00	\$ 16.00
84	560-01125	STR	Pt. Lot 269	0.33	0.33	0.134	Cameron & Grace Fast	\$ -	\$ 21.00	\$ 21.00
85	560-01127	STR	Pt. Lot 269	0.34	0.34	0.138	Antonio & Sheila Lopetrone	\$ -	\$ 21.00	\$ 21.00
86	560-01129	STR	Pt. Lot 269	0.19	0.19	0.077	Trevor & Kari Smith	\$ -	\$ 16.00	\$ 16.00
87	560-01131	STR	Pt. Lot 269	0.17	0.17	0.069	Steven & Mckenzee Chortos	\$ -	\$ 15.00	\$ 15.00
88	560-01133	STR	Pt. Lot 269	0.17	0.17	0.069	Jason Clark & Amanda Middleton	\$ -	\$ 15.00	\$ 15.00
89	560-01135	STR	Pt. Lot 269	0.21	0.21	0.085	Michael & Tina O'Connor	\$ -	\$ 17.00	\$ 17.00
90	560-01137	STR	Pt. Lot 269	0.21	0.21	0.085	Eric & Amanda Noel	\$ -	\$ 17.00	\$ 17.00
91	560-01200	STR	Pt. Lot 269	0.17	0.17	0.069	Wilhelm & Jessica Loewen	\$ -	\$ 15.00	\$ 15.00
93	560-01234	STR	Pt. Lot 269	0.21	0.21	0.085	Carlos Correa & Gloria Arango	\$ -	\$ 17.00	\$ 17.00
94	560-01236	STR	Pt. Lot 269	0.18	0.18	0.073	Benjamin & Melissa Fischer	\$ -	\$ 16.00	\$ 16.00
95	560-01238	STR	Pt. Lot 269	0.17	0.17	0.069	Brian & Sharon Birch	\$ -	\$ 15.00	\$ 15.00
96	560-01240	STR	Pt. Lot 269	0.28	0.28	0.113	Alexander & Jamesina Keeney	\$ -	\$ 22.00	\$ 22.00
97	560-01242	STR	Pt. Lot 269	0.26	0.26	0.105	David & Toni Curtis	\$ -	\$ 19.00	\$ 19.00
98	560-01244	STR	Pt. Lot 269	0.31	0.31	0.125	Nancy Garraway & John Etue	\$ -	\$ 20.00	\$ 20.00
99	560-01246	STR	Pt. Lot 269	0.16	0.16	0.065	Al Langstaff	\$ -	\$ 14.00	\$ 14.00
100	560-01248	STR	Pt. Lot 269	0.17	0.17	0.069	Maninder Brar & Prabjheet Kaur	\$ -	\$ 15.00	\$ 15.00
101	560-01249	STR	Pt. Lot 269	0.21	0.21	0.085	Virginia Deman & The Canada Trust Company	\$ -	\$ 17.00	\$ 17.00
102	560-01252	STR	Pt. Lot 269	0.18	0.18	0.073	Connie Bilton	\$ -	\$ 16.00	\$ 16.00
103	560-01254	STR	Pt. Lot 269	0.17	0.17	0.069	Michael & Rita Beaule	\$ -	\$ 15.00	\$ 15.00
104	560-01256	STR	Pt. Lot 269	0.17	0.17	0.069	Keith Cullin	\$ -	\$ 15.00	\$ 15.00
105	560-01258	STR	Pt. Lot 269	0.22	0.22	0.089	Brian Mitchell & Jane Harley	\$ -	\$ 20.00	\$ 20.00
106	560-01260	STR	Pt. Lot 269	0.26	0.26	0.105	Mario & Sonia Mendes	\$ -	\$ 19.00	\$ 19.00

**4. PRIVATELY OWNED - NON-AGRICULTURAL LANDS: *Continued***

Parcel ID <u>Number</u>	Tax Roll <u>Number</u>	Con. or Plan <u>Number</u>	Lot or Part <u>of Lot</u>	Acres <u>Owned</u>	Acres <u>Affected</u>	Hectares <u>Affected</u>	Owner's Name	Value of <u>Benefit</u>	Value of <u>Outlet</u>	TOTAL <u>VALUE</u>
107	560-01262	STR	Pt. Lot 269	0.28	0.28	0.113	Fredy & Corin Menjivar	\$ -	\$ 22.00	\$ 22.00
108	560-01264	STR	Pt. Lot 269	0.22	0.22	0.089	Douglas Dalpe	\$ -	\$ 20.00	\$ 20.00
109	560-01266	STR	Pt. Lot 269	0.17	0.17	0.069	Santino Viselli & Megan Manchester	\$ -	\$ 15.00	\$ 15.00
110	560-01268	STR	Pt. Lot 269	0.17	0.17	0.069	Irene Stewart	\$ -	\$ 15.00	\$ 15.00
111	560-01270	STR	Pt. Lot 269	0.18	0.18	0.073	Joseph & Lindsay Iatonna	\$ -	\$ 16.00	\$ 16.00
112	560-01310	STR	Pt. Lot 269	0.17	0.17	0.069	Christopher South & Maegan Ferranti	\$ -	\$ 15.00	\$ 15.00
113	560-01312	STR	Pt. Lot 269	0.17	0.17	0.069	Justin & Sarah Snelgrove	\$ -	\$ 15.00	\$ 15.00
114	560-01314	STR	Pt. Lot 269	0.20	0.20	0.081	Crystal Hudon & Michael Bondy	\$ -	\$ 16.00	\$ 16.00
115	560-01316	STR	Pt. Lot 269	0.22	0.22	0.089	Tyler & Patricia Driedger	\$ -	\$ 17.00	\$ 17.00
116	560-01318	STR	Pt. Lot 269	0.15	0.15	0.061	Edward & Brenda Ryall	\$ -	\$ 21.00	\$ 21.00
117	560-01320	STR	Pt. Lot 269	0.16	0.16	0.065	James & Nicole Bradley	\$ -	\$ 14.00	\$ 14.00
118	560-01322	STR	Pt. Lot 269	0.21	0.21	0.085	Kevin Anderson & Michele Lowe	\$ -	\$ 16.00	\$ 16.00
119	560-01324	STR	Pt. Lot 269	0.20	0.20	0.081	Roger Desramaux & Megan Watson	\$ -	\$ 16.00	\$ 16.00
120	560-01326	STR	Pt. Lot 269	0.20	0.20	0.081	Bker & Zelia Abdulkader	\$ -	\$ 16.00	\$ 16.00
121	560-01328	STR	Pt. Lot 269	0.19	0.19	0.077	Peter Millar & Jaclyn Garant	\$ -	\$ 15.00	\$ 15.00
122	560-01330	STR	Pt. Lot 269	0.12	0.12	0.049	Cottam Solar Limited	\$ -	\$ 10.00	\$ 10.00
123	560-01334	STR	Pt. Lot 269	0.19	0.19	0.077	Cottam Solar Limited	\$ -	\$ 15.00	\$ 15.00
124	560-01336	STR	Pt. Lot 269	0.21	0.21	0.085	Cottam Solar Limited	\$ -	\$ 17.00	\$ 17.00
125	560-01338	STR	Pt. Lot 269	0.21	0.21	0.085	Cottam Solar Limited	\$ -	\$ 17.00	\$ 17.00
126	560-01340	STR	Pt. Lot 269	0.19	0.19	0.077	Cottam Solar Limited	\$ -	\$ 15.00	\$ 15.00
127	560-01342	STR	Pt. Lot 269	0.18	0.18	0.073	Cottam Solar Limited	\$ -	\$ 15.00	\$ 15.00
128	560-01343	STR	Pt. Lot 269	0.06	0.06	0.024	Cottam Solar Limited	\$ -	\$ 5.00	\$ 5.00
129	560-01344	STR	Pt. Lot 269	0.22	0.22	0.089	Cottam Solar Limited	\$ -	\$ 18.00	\$ 18.00
130	560-01345	STR	Pt. Lot 269	0.30	0.30	0.121	Cottam Solar Limited	\$ -	\$ 24.00	\$ 24.00
131	560-01346	STR	Pt. Lot 269	0.19	0.19	0.077	Cottam Solar Limited	\$ -	\$ 15.00	\$ 15.00
132	560-01348	STR	Pt. Lot 269	0.21	0.21	0.085	Cottam Solar Limited	\$ -	\$ 17.00	\$ 17.00
133	560-01350	STR	Pt. Lot 269	0.31	0.31	0.125	Cottam Solar Limited	\$ -	\$ 25.00	\$ 25.00
134	560-01352	STR	Pt. Lot 269	0.34	0.34	0.138	Cottam Solar Limited	\$ -	\$ 28.00	\$ 28.00
135	560-01354	STR	Pt. Lot 269	0.27	0.27	0.109	Cottam Solar Limited	\$ -	\$ 22.00	\$ 22.00
136	560-01356	STR	Pt. Lot 269	0.21	0.21	0.085	Cottam Solar Limited	\$ -	\$ 17.00	\$ 17.00
137	560-01358	STR	Pt. Lot 269	0.25	0.25	0.101	Cottam Solar Limited	\$ -	\$ 20.00	\$ 20.00
138	560-01360	STR	Pt. Lot 269	0.20	0.20	0.081	Cottam Solar Limited	\$ -	\$ 16.00	\$ 16.00
139	560-01362	STR	Pt. Lot 269	0.18	0.18	0.073	Cottam Solar Limited	\$ -	\$ 15.00	\$ 15.00

**4. PRIVATELY OWNED - NON-AGRICULTURAL LANDS: *Continued***

Parcel ID <u>Number</u>	Tax Roll <u>Number</u>	Con. or Plan <u>Number</u>	Lot or Part <u>of Lot</u>	Acres <u>Owned</u>	Acres <u>Affected</u>	Hectares <u>Affected</u>	Owner's Name	Value of <u>Benefit</u>	Value of <u>Outlet</u>	TOTAL <u>VALUE</u>
140	560-01364	STR	Pt. Lot 269	0.18	0.18	0.073	Cottam Solar Limited	\$ -	\$ 15.00	\$ 15.00
141	560-01366	STR	Pt. Lot 269	0.18	0.18	0.073	Cottam Solar Limited	\$ -	\$ 15.00	\$ 15.00
142	560-01368	STR	Pt. Lot 269	0.19	0.19	0.077	Cottam Solar Limited	\$ -	\$ 15.00	\$ 15.00
143	560-01370	STR	Pt. Lot 269	0.19	0.19	0.077	Cottam Solar Limited	\$ -	\$ 15.00	\$ 15.00
144	560-01372	STR	Pt. Lot 269	0.20	0.20	0.081	Christian Fairey & Hailee Mathies	\$ -	\$ 16.00	\$ 16.00
145	560-01374	STR	Pt. Lot 269	0.18	0.18	0.073	Mary Chapman & Wayne Roy	\$ -	\$ 16.00	\$ 16.00
146	560-01376	STR	Pt. Lot 269	0.18	0.18	0.073	Amy & Robert Purdy	\$ -	\$ 16.00	\$ 16.00
147	560-01378	STR	Pt. Lot 269	0.18	0.18	0.073	Anthony & Sarah Querin	\$ -	\$ 16.00	\$ 16.00
148	560-01380	STR	Pt. Lot 269	0.18	0.18	0.073	Norman Davison & Stephen Laurie	\$ -	\$ 16.00	\$ 16.00
149	560-01382	STR	Pt. Lot 269	0.20	0.20	0.081	Danielle Oles	\$ -	\$ 16.00	\$ 16.00
150	560-02390	STR	Pt. Lot 269	0.17	0.17	0.069	Randy & Lori Duhig	\$ -	\$ 15.00	\$ 15.00
151	560-02400	STR	Pt. Lot 269	0.17	0.17	0.069	Allan & Laura Gagne	\$ -	\$ 15.00	\$ 15.00
152	560-02401	M100	Lot 25	0.34	0.34	0.138	Curtis Bishop	\$ -	\$ 21.00	\$ 21.00
153	560-02402	M100	Lot 24	0.30	0.30	0.121	Wanda Hayes	\$ -	\$ 19.00	\$ 19.00
154	560-02403	M100	Lot 23	0.28	0.28	0.113	Ivan Dets	\$ -	\$ 22.00	\$ 22.00
155	560-02404	M100	Lot 22	0.24	0.24	0.097	Ronald & Debra Mitchell	\$ -	\$ 14.00	\$ 14.00
156	560-02405	M100	Lot 21	0.17	0.17	0.069	Daniel Stanley	\$ -	\$ 15.00	\$ 15.00
157	560-02406	M100	Lot 20	0.19	0.19	0.077	Francesco Incitti & Sofia Montgomery	\$ -	\$ 15.00	\$ 15.00
158	560-02407	M100	Lot 19	0.18	0.18	0.073	John & Krista Armaly	\$ -	\$ 16.00	\$ 16.00
159	560-02408	M100	Lot 18	0.18	0.18	0.073	Shelley Schraeder	\$ -	\$ 16.00	\$ 16.00
160	560-02409	M100	Lot 17	0.17	0.17	0.069	Daniel & Twyla St.Louis	\$ -	\$ 15.00	\$ 15.00
161	560-02410	M100	Lot 16	0.17	0.17	0.069	Florin Serbanescu	\$ -	\$ 15.00	\$ 15.00
162	560-02411	M100	Lot 15	0.17	0.17	0.069	James & Cheryl Sagaert	\$ -	\$ 15.00	\$ 15.00
163	560-02412	M100	Lot 28	0.22	0.22	0.089	Neil & Barbara Banman	\$ -	\$ 17.00	\$ 17.00
164	560-02413	M100	Lot 29	0.22	0.22	0.089	Joseph & Susan Schembri	\$ -	\$ 17.00	\$ 17.00
165	560-02416	M100	Lot 32	0.18	0.18	0.073	Ian & Janet Williams	\$ -	\$ 16.00	\$ 16.00
166	560-02417	M100	Lot 33	0.18	0.18	0.073	Anthony Esposito	\$ -	\$ 16.00	\$ 16.00
167	560-02418	M100	Lot 34	0.18	0.18	0.073	Richard & Brenda Summerfield	\$ -	\$ 16.00	\$ 16.00
168	560-02419	M100	Lot 35	0.18	0.18	0.073	Mary Squance	\$ -	\$ 16.00	\$ 16.00
169	560-02420	M100	Lot 36	0.18	0.18	0.073	Carol Montello	\$ -	\$ 16.00	\$ 16.00
170	560-02421	M100	Lot 37	0.18	0.18	0.073	James & Ginger Bogdon	\$ -	\$ 16.00	\$ 16.00
171	560-02422	M100	Lot 38	0.18	0.18	0.073	John & Bonnie Marn	\$ -	\$ 16.00	\$ 16.00
172	560-02423	M100	Lot 14	0.19	0.19	0.077	Johan & Sarah Wiebe	\$ -	\$ 15.00	\$ 15.00

**4. PRIVATELY OWNED - NON-AGRICULTURAL LANDS: *Continued***

Parcel ID <u>Number</u>	Tax Roll <u>Number</u>	Con. or Plan <u>Number</u>	Lot or Part <u>of Lot</u>	Acres <u>Owned</u>	Acres <u>Affected</u>	Hectares <u>Affected</u>	Owner's Name	Value of <u>Benefit</u>	Value of <u>Outlet</u>	TOTAL <u>VALUE</u>
173	560-02424	M100	Lot 13	0.17	0.17	0.069	Joseph Foley & Volha Baranova	\$ -	\$ 15.00	\$ 15.00
174	560-02425	M100	Lot 12	0.17	0.17	0.069	Rojina & Ruth Veeresar	\$ -	\$ 15.00	\$ 15.00
175	560-02426	M100	Lot 11	0.17	0.17	0.069	David & Karen Middleton	\$ -	\$ 15.00	\$ 15.00
176	560-02427	M100	Lot 10	0.17	0.17	0.069	Timothy & Jennine Meloche	\$ -	\$ 15.00	\$ 15.00
177	560-02428	M100	Lot 9	0.17	0.17	0.069	Jason & Sherri Dutot	\$ -	\$ 15.00	\$ 15.00
178	560-02429	M100	Lot 8	0.19	0.19	0.077	Ralph & Veronica Devries	\$ -	\$ 15.00	\$ 15.00
179	560-02430	M100	Lot 7	0.17	0.17	0.069	Donald & Mary Bryant	\$ -	\$ 15.00	\$ 15.00
180	560-02431	M100	Lot 6	0.20	0.20	0.081	David Pereira & Kathleen Dennison	\$ -	\$ 16.00	\$ 16.00
181	560-02432	M100	Lot 5	0.18	0.18	0.073	Becky & Corey Coussens	\$ -	\$ 16.00	\$ 16.00
182	560-02433	M100	Lot 4	0.18	0.18	0.073	Shannon Dalgleish & Robert Scott	\$ -	\$ 16.00	\$ 16.00
183	560-02434	M100	Lot 3	0.18	0.18	0.073	Timothy & Sherry Rudge	\$ -	\$ 16.00	\$ 16.00
184	560-02435	M100	Lot 2	0.21	0.21	0.085	Cornelio & Anna Fehr	\$ -	\$ 16.00	\$ 16.00
185	560-02436	STR	Pt. Lot 269	0.21	0.21	0.085	Jake Fehr	\$ -	\$ 16.00	\$ 16.00
186	560-02437	STR	Pt. Lot 269	0.17	0.17	0.069	David Barwick & Angela Mulcaster-Boer	\$ -	\$ 15.00	\$ 15.00
187	560-02438	STR	Pt. Lot 269	0.17	0.17	0.069	Steven Moon & Gail Donais	\$ -	\$ 15.00	\$ 15.00
188	560-02439	STR	Pt. Lot 269	0.17	0.17	0.069	Gerald & Tammy Poirier	\$ -	\$ 15.00	\$ 15.00
189	560-02440	STR	Pt. Lot 269	0.17	0.17	0.069	Jeffrey & Amanda Ferreira	\$ -	\$ 15.00	\$ 15.00
190	560-02441	STR	Pt. Lot 269	0.21	0.21	0.085	Steven & Cynthia Ghikadis	\$ -	\$ 16.00	\$ 16.00
191	560-02442	STR	Pt. Lot 269	0.20	0.20	0.081	William & Sarah Smith	\$ -	\$ 16.00	\$ 16.00
192	560-02443	STR	Pt. Lot 269	0.19	0.19	0.077	Robert & Shannon Belleau	\$ -	\$ 15.00	\$ 15.00
193	560-02444	STR	Pt. Lot 269	0.19	0.19	0.077	Daniel & Shelby Wilkins	\$ -	\$ 15.00	\$ 15.00
194	560-02445	STR	Pt. Lot 269	0.19	0.19	0.077	Chad Gray	\$ -	\$ 15.00	\$ 15.00
195	560-02446	STR	Pt. Lot 269	0.19	0.19	0.077	Gary & Patricia Bain	\$ -	\$ 15.00	\$ 15.00
196	560-02447	STR	Pt. Lot 269	0.19	0.19	0.077	Herbert Bernhardt & Kathleen Sauter	\$ -	\$ 15.00	\$ 15.00
197	560-02448	STR	Pt. Lot 269	0.19	0.19	0.077	Douglas & Ann Sabga	\$ -	\$ 15.00	\$ 15.00
198	560-02449	STR	Pt. Lot 269	0.19	0.19	0.077	Jacob Hildebrant & Helen Boldt	\$ -	\$ 15.00	\$ 15.00
199	560-02450	STR	Pt. Lot 269	0.19	0.19	0.077	David & Sabrina Green	\$ -	\$ 15.00	\$ 15.00
200	560-02451	STR	Pt. Lot 269	0.20	0.20	0.081	Kyle Sayers	\$ -	\$ 16.00	\$ 16.00
201	560-02452	STR	Pt. Lot 269	0.21	0.21	0.085	Gregory Anger & Samantha Tofflemire	\$ -	\$ 16.00	\$ 16.00
202	560-02453	STR	Pt. Lot 269	0.21	0.21	0.085	Wayne & Ellen Hyland	\$ -	\$ 16.00	\$ 16.00
203	560-02454	STR	Pt. Lot 269	0.20	0.20	0.081	Charles & Jennifer Tilden	\$ -	\$ 16.00	\$ 16.00
204	560-02455	STR	Pt. Lot 269	0.20	0.20	0.081	Faye St. Pierre	\$ -	\$ 16.00	\$ 16.00
205	560-02456	STR	Pt. Lot 269	0.20	0.20	0.081	Dave & Sue Maedel	\$ -	\$ 16.00	\$ 16.00

**4. PRIVATELY OWNED - NON-AGRICULTURAL LANDS: *Continued***

Parcel ID <u>Number</u>	Tax Roll <u>Number</u>	Con. or Plan <u>Number</u>	Lot or Part <u>of Lot</u>	Acres <u>Owned</u>	Acres <u>Affected</u>	Hectares <u>Affected</u>	Owner's Name	Value of <u>Benefit</u>	Value of <u>Outlet</u>	TOTAL <u>VALUE</u>
206	560-02457	STR	Pt. Lot 269	0.20	0.20	0.081	Roger Mercer & Luwana Mealing-Mercer	\$ -	\$ 16.00	\$ 16.00
207	560-02458	STR	Pt. Lot 269	0.20	0.20	0.081	Robert & Laura Kapetanov	\$ -	\$ 16.00	\$ 16.00
208	560-02459	STR	Pt. Lot 269	0.20	0.20	0.081	Ismael Oozeer & Bodeha Booze-Oozeer	\$ -	\$ 16.00	\$ 16.00
209	560-02460	STR	Pt. Lot 269	0.24	0.24	0.097	Patrick & Debra Brophey	\$ -	\$ 14.00	\$ 14.00
210	560-02461	STR	Pt. Lot 269	0.34	0.34	0.138	Harry & Bonnie Terzopoulos	\$ -	\$ 21.00	\$ 21.00
211	560-02462	STR	Pt. Lot 269	0.18	0.18	0.073	Dean & Sandra Pearson	\$ -	\$ 16.00	\$ 16.00
212	560-02463	STR	Pt. Lot 269	0.23	0.23	0.093	Keith & Elizabeth Cornell	\$ -	\$ 14.00	\$ 14.00
213	560-02464	STR	Pt. Lot 269	0.17	0.17	0.069	Joshua & Michelle Weeks	\$ -	\$ 15.00	\$ 15.00
214	560-02465	STR	Pt. Lot 269	0.17	0.17	0.069	Victoria Davison & John Hunter	\$ -	\$ 15.00	\$ 15.00
215	560-02466	STR	Pt. Lot 269	0.20	0.20	0.081	Shawn & Angie Couvillon	\$ -	\$ 16.00	\$ 16.00
216	560-02467	STR	Pt. Lot 269	0.24	0.24	0.097	Donald & Kailyn Neal	\$ -	\$ 14.00	\$ 14.00
217	560-02468	STR	Pt. Lot 269	0.24	0.24	0.097	Michael Richmond & Andrea Balkwill	\$ -	\$ 14.00	\$ 14.00
218	560-02469	STR	Pt. Lot 269	0.24	0.24	0.097	Dwane & Suzanne Osborne	\$ -	\$ 14.00	\$ 14.00
219	560-02470	STR	Pt. Lot 269	0.17	0.17	0.069	Brian Cinat & Karlea Beresh	\$ -	\$ 15.00	\$ 15.00
220	560-02471	STR	Pt. Lot 269	0.18	0.18	0.073	Glenn & Karen Quinlan	\$ -	\$ 16.00	\$ 16.00
221	560-02472	STR	Pt. Lot 269	0.18	0.18	0.073	Florence Rivest	\$ -	\$ 16.00	\$ 16.00
222	560-02473	STR	Pt. Lot 269	0.19	0.19	0.077	Dina Pantoja & Oscar Molina	\$ -	\$ 15.00	\$ 15.00
223	560-02474	STR	Pt. Lot 269	0.19	0.19	0.077	August & Lorrie Hoekstra	\$ -	\$ 15.00	\$ 15.00
224	560-02475	STR	Pt. Lot 269	0.19	0.19	0.077	Dennis & Catherine Dugdale	\$ -	\$ 15.00	\$ 15.00
225	560-02476	STR	Pt. Lot 269	0.19	0.19	0.077	Karen Allen	\$ -	\$ 15.00	\$ 15.00
226	560-02477	STR	Pt. Lot 269	0.19	0.19	0.077	Timothy Kelly & Shannon Dubai-Kelly	\$ -	\$ 15.00	\$ 15.00
227	560-02478	STR	Pt. Lot 269	0.19	0.19	0.077	Brandon Sonoski & Shania Taylor	\$ -	\$ 15.00	\$ 15.00
228	560-02479	STR	Pt. Lot 269	0.19	0.19	0.077	Jason & Andrea Powell	\$ -	\$ 15.00	\$ 15.00
229	560-02480	STR	Pt. Lot 269	0.19	0.19	0.077	Tarcisio & Mary-Jo Morassut	\$ -	\$ 15.00	\$ 15.00
230	560-02481	STR	Pt. Lot 269	0.19	0.19	0.077	Salvatore Peralta & Carlee Fleming	\$ -	\$ 15.00	\$ 15.00
231	560-02482	STR	Pt. Lot 269	0.19	0.19	0.077	Robert & Annette Gabriele	\$ -	\$ 15.00	\$ 15.00
232	560-02483	STR	Pt. Lot 269	0.25	0.25	0.101	Linda Fick & Nancy Kujawski	\$ -	\$ 15.00	\$ 15.00
233	560-02484	STR	Pt. Lot 269	0.22	0.22	0.089	Denis Sterling	\$ -	\$ 17.00	\$ 17.00
234	560-02485	STR	Pt. Lot 269	0.20	0.20	0.081	Jacob & Helena Froese	\$ -	\$ 16.00	\$ 16.00
235	560-02486	STR	Pt. Lot 269	0.20	0.20	0.081	Steven & Diane Doyle	\$ -	\$ 16.00	\$ 16.00
236	560-02487	STR	Pt. Lot 269	0.20	0.20	0.081	Derek & Diane Cameron	\$ -	\$ 16.00	\$ 16.00
237	560-02488	STR	Pt. Lot 269	0.18	0.18	0.073	Cindy Mills	\$ -	\$ 16.00	\$ 16.00
238	560-02489	STR	Pt. Lot 269	0.18	0.18	0.073	Mark & Tammy Clifford	\$ -	\$ 16.00	\$ 16.00

**4. PRIVATELY OWNED - NON-AGRICULTURAL LANDS: *Continued***

Parcel ID <u>Number</u>	Tax Roll <u>Number</u>	Con. or Plan <u>Number</u>	Lot or Part <u>of Lot</u>	Acres <u>Owned</u>	Acres <u>Affected</u>	Hectares <u>Affected</u>	Owner's Name	Value of <u>Benefit</u>	Value of <u>Outlet</u>	TOTAL <u>VALUE</u>
239	560-02490	STR	Pt. Lot 269	0.18	0.18	0.073	Joseph & Helga Bondy	\$ -	\$ 16.00	\$ 16.00
240	560-02491	STR	Pt. Lot 269	0.18	0.18	0.073	Richard Ferrato	\$ -	\$ 16.00	\$ 16.00
241	560-02492	STR	Pt. Lot 269	0.20	0.20	0.081	Randy & Tracey Baillargeon	\$ -	\$ 16.00	\$ 16.00
242	560-02493	STR	Pt. Lot 269	0.19	0.19	0.077	Robert & Julie Wilson	\$ -	\$ 15.00	\$ 15.00
243	560-02494	STR	Pt. Lot 269	0.19	0.19	0.077	Daniel & Melissa Langis	\$ -	\$ 15.00	\$ 15.00
244	560-02495	STR	Pt. Lot 269	0.19	0.19	0.077	David & Irene Doody	\$ -	\$ 15.00	\$ 15.00
245	560-02496	STR	Pt. Lot 269	0.19	0.19	0.077	William & Natalie Simon	\$ -	\$ 15.00	\$ 15.00
246	560-02497	STR	Pt. Lot 269	0.22	0.22	0.089	Craig & Jennifer Newman	\$ -	\$ 17.00	\$ 17.00
247	560-02498	STR	Pt. Lot 269	0.29	0.29	0.117	Lizabeth Matte	\$ -	\$ 23.00	\$ 23.00
248	560-02499	STR	Pt. Lot 269	0.17	0.17	0.069	Richard Dunn	\$ -	\$ 15.00	\$ 15.00
249	560-02500	M100	Lot 1	0.36	0.36	0.146	William & Cheryl Carmichael	\$ -	\$ 24.00	\$ 24.00
250	560-02501	STR	Pt. Lot 269	0.19	0.19	0.077	Derek & Kristen Freeman	\$ -	\$ 15.00	\$ 15.00
251	560-02503	STR	Pt. Lot 269	0.17	0.17	0.069	Dean & Patricia Dame	\$ -	\$ 15.00	\$ 15.00
252	560-02504	STR	Pt. Lot 269	0.17	0.17	0.069	Arthur Delaney	\$ -	\$ 15.00	\$ 15.00
253	560-02505	STR	Pt. Lot 269	0.17	0.17	0.069	Ted & Carleen Hunter	\$ -	\$ 15.00	\$ 15.00
254	560-02506	STR	Pt. Lot 269	0.17	0.17	0.069	Brian & Lynn Higgins	\$ -	\$ 15.00	\$ 15.00
255	560-02507	STR	Pt. Lot 269	0.17	0.17	0.069	Coreen Sykes & Paul Epp	\$ -	\$ 15.00	\$ 15.00
256	560-02508	STR	Pt. Lot 269	0.17	0.17	0.069	Christopher & Mallory Branov	\$ -	\$ 15.00	\$ 15.00
257	560-02509	STR	Pt. Lot 269	0.17	0.17	0.069	Andy & Christine Faraci	\$ -	\$ 15.00	\$ 15.00
258	560-02510	STR	Pt. Lot 269	0.17	0.17	0.069	Margaret McCord	\$ -	\$ 15.00	\$ 15.00
259	560-02511	STR	Pt. Lot 269	0.17	0.17	0.069	Erin Livingston	\$ -	\$ 15.00	\$ 15.00
260	560-02512	STR	Pt. Lot 269	0.17	0.17	0.069	Ronan & Melanie Oliver	\$ -	\$ 15.00	\$ 15.00
261	560-02513	STR	Pt. Lot 269	0.17	0.17	0.069	John & Carol Quinn	\$ -	\$ 15.00	\$ 15.00
262	560-02600	TRS	Pt. Lot 269	0.49	0.49	0.198	Ricky & Brenda Garant	\$ -	\$ 28.00	\$ 28.00
263	560-02601	STR	Pt. Lot 269	0.35	0.35	0.142	Kenneth & Rosemary Roadhouse	\$ -	\$ 23.00	\$ 23.00
264	560-02620	STR	Pt. Lot 269	0.39	0.39	0.158	Maria Klaas	\$ -	\$ 17.00	\$ 17.00
266	560-02660	STR	Pt. Lot 269	2.07	2.07	0.838	Town of Kingsville	\$ -	\$ 86.00	\$ 86.00
267	560-02700	STR	Pt. Lot 269	0.64	0.64	0.259	Gary & Maria Klaas	\$ -	\$ 32.00	\$ 32.00
269	560-02900	TRS	Pt. Lot 269	0.54	0.54	0.219	David Parise & Ryan McLeod	\$ -	\$ 42.00	\$ 42.00
270	560-02901	STR	Pt. Lot 268	0.46	0.46	0.186	Essex County Community Living	\$ -	\$ 33.00	\$ 33.00
271	560-02902	STR	Pt. Lot 268	0.46	0.46	0.186	John & Michelle Ivanisko	\$ -	\$ 33.00	\$ 33.00
273	560-03001	STR	Pt. Lot 268	0.83	0.83	0.336	Dennis Mostoway & Dawn Reaume	\$ -	\$ 48.00	\$ 48.00
274	560-03100	STR	Pt. Lot 268	1.00	1.00	0.405	Mark Voligny & Michelle Winger	\$ -	\$ 56.00	\$ 56.00

**4. PRIVATELY OWNED - NON-AGRICULTURAL LANDS: *Continued***

<u>Parcel ID Number</u>	<u>Tax Roll Number</u>	<u>Con. or Plan Number</u>	<u>Lot or Part of Lot</u>	<u>Acres Owned</u>	<u>Acres Affected</u>	<u>Hectares Affected</u>	<u>Owner's Name</u>	<u>Value of Benefit</u>	<u>Value of Outlet</u>	<u>TOTAL VALUE</u>
275	560-03101	STR	Pt. Lot 268	0.69	0.69	0.279	Preston Harris & Germaine Gould	\$ -	\$ 50.00	\$ 50.00
277	560-03300	STR	Pt. Lot 268	1.89	1.89	0.765	Beverley & Kristine Iles	\$ -	\$ 90.00	\$ 90.00
278	560-03350	STR	Pt. Lot 268	0.46	0.46	0.186	Pedro & Aganetha Dyck	\$ -	\$ 28.00	\$ 28.00
282	560-03520	STR	Lot 268	1.24	1.24	0.502	Nicholas & Erin Hayes	\$ -	\$ 61.00	\$ 61.00
285	560-03800	STR	Pt. Lot 267	0.48	0.48	0.194	Peter & Elizabeth Peters	\$ -	\$ 31.00	\$ 31.00
286	560-03900	TRS	Pt. Lot 267	0.42	0.42	0.170	Cody Haynes	\$ -	\$ 27.00	\$ 27.00
288	560-04100	STR	Pt. Lot 267	0.75	0.75	0.304	Rita & Ralph Wigle	\$ -	\$ 39.00	\$ 39.00
<b>Total on Privately Owned - Non-Agricultural Lands.....</b>								<b>\$ 403.00</b>	<b>\$ 4,134.00</b>	<b>\$ 4,537.00</b>

**5. PRIVATELY OWNED - AGRICULTURAL LANDS (grantable):**

<u>Parcel ID Number</u>	<u>Tax Roll Number</u>	<u>Con. or Plan Number</u>	<u>Lot or Part of Lot</u>	<u>Acres Owned</u>	<u>Acres Affected</u>	<u>Hectares Affected</u>	<u>Owner's Name</u>	<u>Value of Benefit</u>	<u>Value of Outlet</u>	<u>TOTAL VALUE</u>
23	490-00800	6	Pt. Lots 8 & 9	200.00	102.00	41.279	Milton Hillier	\$ 1,311.00	\$ 1,599.00	\$ 2,910.00
24	490-01300	7	Pt. Lot 8	50.00	50.00	20.235	James Ferguson	\$ 1,358.00	\$ 717.00	\$ 2,075.00
25	490-01400	7	Pt. Lot 8	40.00	40.00	16.188	James & Diane Ferguson	\$ -	\$ 624.00	\$ 624.00
26	490-01500	7	Pt. Lot 8	62.59	41.00	16.592	Brent & Michelle Ramsay	\$ -	\$ 612.00	\$ 612.00
27	490-01700	7	Pt. Lot 9	54.69	54.69	22.133	Donna & Steven Merritt	\$ 188.00	\$ 783.00	\$ 971.00
28	490-01800	7	Pt. Lots 9 and 10	59.71	59.71	24.164	Donna & Steven Merritt	\$ 1,682.00	\$ 980.00	\$ 2,662.00
29	490-01900	6	Pt. Lot 7	97.51	14.00	5.666	Neil & Sharla Ferguson	\$ 617.00	\$ 235.00	\$ 852.00
32	490-02100	6	Pt. Lot 8	66.70	34.70	14.043	Dorothy & Laurence Merritt	\$ 513.00	\$ 603.00	\$ 1,116.00
33	490-02200	6	Pt. Lot 8	1.37	1.37	0.554	Laurence & Dorothy Merritt	\$ 68.00	\$ 77.00	\$ 145.00
34	490-02300	6	Lot 9 & Pt. Lot 10	103.25	66.25	26.811	Stevan Barisic	\$ 965.00	\$ 1,195.00	\$ 2,160.00
35	500-00101	7	Pt. Lot 7	44.73	2.00	0.809	Cottam Radiator Ltd. & James Ferguson	\$ 30.00	\$ 27.00	\$ 57.00
71	560-00500	STR	Pt. Lot 267	64.76	34.76	14.067	John & David Bachtold	\$ 462.00	\$ 781.00	\$ 1,243.00
72	560-00600	STR	Pt. Lot 267	25.10	25.10	10.158	Larry & Tammy Meloche	\$ 338.00	\$ 573.00	\$ 911.00
73	560-00700	STR	Pt. Lot 267	24.50	24.50	9.915	John & David Bachtold	\$ 303.00	\$ 474.00	\$ 777.00
77	560-00900	STR	Pt. Lot 268	50.00	50.00	20.235	Chevalier Farms & Elevator Ltd.	\$ 707.00	\$ 856.00	\$ 1,563.00
78	560-01000	STR	Pt. Lot 269	90.07	90.07	36.451	Richard & Sharon Kendrick	\$ 200.00	\$ 1,504.00	\$ 1,704.00
79	560-01002	STR	Pt. Lot 269	6.98	6.98	2.825	Richard & Sharon Kendrick	\$ -	\$ 109.00	\$ 109.00
268	560-02800	STR	Pt. Lot 269	11.13	11.13	4.504	Jacob & Yola Pretli	\$ -	\$ 282.00	\$ 282.00
276	560-03200	STR	Pt. Lot 268	45.31	45.31	18.337	Margery Macgregor	\$ -	\$ 837.00	\$ 837.00

**5. PRIVATELY OWNED - AGRICULTURAL LANDS (grantable): *Continued***

<u>Parcel ID Number</u>	<u>Tax Roll Number</u>	<u>Con. or Plan Number</u>	<u>Lot or Part of Lot</u>	<u>Acres Owned</u>	<u>Acres Affected</u>	<u>Hectares Affected</u>	<u>Owner's Name</u>	<u>Value of Benefit</u>	<u>Value of Outlet</u>	<u>TOTAL VALUE</u>
280	560-03420	STR	Pt. Lot 268	22.23	22.23	8.996	Leo Hayes	\$ -	\$ 430.00	\$ 430.00
281	560-03500	STR	Pt. Lot 268	71.89	71.89	29.093	Charles & Craig Chevalier	\$ 565.00	\$ 1,272.00	\$ 1,837.00
284	560-03700	TRS	Pt. Lot 267	25.00	25.00	10.117	George Newman	\$ -	\$ 808.00	\$ 808.00
287	560-04000	STR	Pt. Lot 267	18.50	18.50	7.487	Gerald & Iris Pillon	\$ -	\$ 390.00	\$ 390.00
289	560-04200	STR	Pt. Lot 267	24.24	24.24	9.810	Milka Jezdic	\$ -	\$ 518.00	\$ 518.00
<b>Total on Privately Owned - Agricultural Lands (grantable).....</b>								<b>\$ 9,307.00</b>	<b>\$ 16,286.00</b>	<b>\$ 25,593.00</b>

**5. PRIVATELY OWNED - AGRICULTURAL LANDS (non-grantable):**

<u>Parcel ID Number</u>	<u>Tax Roll Number</u>	<u>Con. or Plan Number</u>	<u>Lot or Part of Lot</u>	<u>Acres Owned</u>	<u>Acres Affected</u>	<u>Hectares Affected</u>	<u>Owner's Name</u>	<u>Value of Benefit</u>	<u>Value of Outlet</u>	<u>TOTAL VALUE</u>
265	560-02653	STR	Pt. Lot 269	24.25	24.25	9.81	1575742 Ontario Ltd.	\$ -	\$ 282.00	\$ 282.00
272	560-03000	STR	Pt. Lot 268	10.01	10.01	4.05	Justin Ireland & Jamie Meunier	\$ -	\$ 199.00	\$ 199.00
279	560-03400	STR	Pt. Lot 268	3.38	3.38	1.37	Leo Hayes	\$ -	\$ 85.00	\$ 85.00
283	560-03600	STR	Pt. Lot 268	7.25	7.25	2.93	Daniel & Jenny Nantais	\$ -	\$ 132.00	\$ 132.00
<b>Total on Privately Owned - Agricultural Lands (non-grantable).....</b>								<b>\$ -</b>	<b>\$ 698.00</b>	<b>\$ 698.00</b>
<b>TOTAL ASSESSMENT</b>				<b>1122.46</b>	<b>454.255</b>			<b>\$ 20,000.00</b>	<b>\$ 30,000.00</b>	<b>\$ 50,000.00</b>

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## **APPENDIX D-3**

### **Future Maintenance Schedule**

**Downstream Section (Station 2+870.9 to Station 6+949.8)**

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FUTURE MAINTENANCE SCHEDULE OF ASSESSMENT

Downstream Section (Station 2+870.9 to Station 6+949.8)

**2. ONTARIO LANDS:**

Parcel ID <u>Number</u>	Tax Roll <u>Number</u>	Con. or Plan <u>Number</u>	Lot or Part <u>of Lot</u>	Acres <u>Owned</u>	Acres <u>Affected</u>	Hectares <u>Affected</u>	Owner's Name	Value of <u>Benefit</u>	Value of <u>Outlet</u>	TOTAL <u>VALUE</u>
Highway No. 3					38.24	15.475	Ministry of Transportation Ontario	\$ 1,962.00	\$ 4,544.00	\$ 6,506.00
<b>Total on Ontario Lands.....</b>										
								<b>\$ 1,962.00</b>	<b>\$ 4,544.00</b>	<b>\$ 6,506.00</b>

**3. MUNICIPAL LANDS:**

Parcel ID <u>Number</u>	Tax Roll <u>Number</u>	Con. or Plan <u>Number</u>	Lot or Part <u>of Lot</u>	Acres <u>Owned</u>	Acres <u>Affected</u>	Hectares <u>Affected</u>	Owner's Name	Value of <u>Benefit</u>	Value of <u>Outlet</u>	TOTAL <u>VALUE</u>
County Road 27 West (Cottom Sideroad)					37.36	15.120	County of Essex	\$ 2,255.00	\$ 2,503.00	\$ 4,758.00
County Road 34 East (Talbot Road)					3.23	1.307	County of Essex	\$ -	\$ 432.00	\$ 432.00
County Road 23 (Arner Townline)					3.52	1.425	County of Essex	\$ 445.00	\$ 76.00	\$ 521.00
South Talbot Road					13.34	5.400	Town of Kingsville	\$ -	\$ 1,311.00	\$ 1,311.00
Marsh Sideroad					5.46	2.211	Town of Kingsville	\$ -	\$ 402.00	\$ 402.00
McCain Sideroad					0.62	0.251	Town of Kingsville	\$ 78.00	\$ 49.00	\$ 127.00
Road 7 West					4.97	2.010	Town of Kingsville	\$ -	\$ 400.00	\$ 400.00
Clark Street					1.72	0.696	Town of Kingsville	\$ -	\$ 244.00	\$ 244.00
Lyle Street					1.19	0.482	Town of Kingsville	\$ -	\$ 168.00	\$ 168.00
Francis Street					2.12	0.859	Town of Kingsville	\$ -	\$ 300.00	\$ 300.00
William Street					1.93	0.781	Town of Kingsville	\$ -	\$ 273.00	\$ 273.00
Veriena Boulevard					1.53	0.618	Town of Kingsville	\$ -	\$ 216.00	\$ 216.00
Dianne Street					0.76	0.306	Town of Kingsville	\$ -	\$ 107.00	\$ 107.00
Sara Street					0.33	0.135	Town of Kingsville	\$ -	\$ 47.00	\$ 47.00
Joaney Lane					1.72	0.694	Town of Kingsville	\$ -	\$ 243.00	\$ 243.00
<b>Total on Municipal Lands.....</b>								<b>\$ 2,778.00</b>	<b>\$ 6,771.00</b>	<b>\$ 9,549.00</b>

**4. PRIVATELY OWNED - NON-AGRICULTURAL LANDS:**

Parcel ID <u>Number</u>	Tax Roll <u>Number</u>	Con. or Plan <u>Number</u>	Lot or Part <u>of Lot</u>	Acres <u>Owned</u>	Acres <u>Affected</u>	Hectares <u>Affected</u>	<u>Owner's Name</u>	Value of <u>Benefit</u>	Value of <u>Outlet</u>	TOTAL <u>VALUE</u>
2	460-00701	6	Pt. Lot 1	0.57	0.57	0.231	Richard & Donna Valenciuk	\$ 36.00	\$ 7.00	\$ 43.00
5	460-00801	6	Pt. Lot 2	1.18	1.18	0.478	John & Nancy Stitzinger	\$ 75.00	\$ 20.00	\$ 95.00
6	460-00802	6	Pt. Lot 2	1.07	1.07	0.433	Paul & Corinne Molle	\$ 68.00	\$ 21.00	\$ 89.00
8	460-00910	6	Pt. of Lot 2	0.62	0.62	0.251	Joseph & Christine Parent	\$ 39.00	\$ 17.00	\$ 56.00
9	460-00911	6	Pt. Lot 2	0.70	0.70	0.283	Mark Hall & Melissa Weldon	\$ 44.00	\$ 16.00	\$ 60.00
13	460-01210	6	Pt. Lot 4	1.00	1.00	0.405	Shelley Moody	\$ 63.00	\$ 41.00	\$ 104.00
15	460-01301	6	Pt. Lot 4	1.63	1.63	0.660	Amber Norman & Trevor Maheux	\$ 103.00	\$ 58.00	\$ 161.00
17	460-01501	6	Pt. Lot 6	0.92	0.92	0.372	Henry & Megan Lumley	\$ 58.00	\$ 32.00	\$ 90.00
19	460-01505	6	Pt. Lot 5	1.11	1.11	0.449	Arthur Brown	\$ 70.00	\$ 43.00	\$ 113.00
31	490-02000	6	Pt. Lot 8	0.40	0.40	0.162	Donna Merritt	\$ -	\$ 12.00	\$ 12.00
36	500-00102	7	Pt. Lot 7	1.97	1.97	0.797	Lloyd & Catherine Ferguson	\$ -	\$ 104.00	\$ 104.00
38	500-00200	7	Pt. Lot 7	1.12	1.12	0.453	Tyler Menard & Elizabeth Jeffery	\$ 63.00	\$ 57.00	\$ 120.00
39	500-00201	7	Pt. Lot 6	0.67	0.67	0.271	Dorothy Davison	\$ 42.00	\$ 31.00	\$ 73.00
41	500-00300	7	Pt. Lot 6	1.26	1.26	0.510	Philip Keele & Quina Bartoli	\$ 80.00	\$ 56.00	\$ 136.00
44	500-00501	7	Pt. Lot 6	1.52	1.52	0.615	David & Debbie Alexander	\$ 96.00	\$ 72.00	\$ 168.00
45	500-00600	7	Pt. Lot 6	1.00	1.00	0.405	Benjamin & Kaitlyn Watson	\$ 63.00	\$ 42.00	\$ 105.00
47	500-00800	7	Pt. Lot 5	1.20	1.20	0.486	Kari Barnett	\$ 76.00	\$ 35.00	\$ 111.00
50	500-01050	7	Pt. Lot 4	1.22	1.22	0.494	Jennifer & Michael Dinchik	\$ 63.00	\$ 32.00	\$ 95.00
52	500-01150	7	Pt. Lot 3	0.47	0.47	0.190	Dawne Grado	\$ 30.00	\$ 12.00	\$ 42.00
53	500-01201	7	Pt. Lot 3	2.47	2.47	1.000	Daniel & Nina Lavin	\$ 156.00	\$ 40.00	\$ 196.00
55	500-01300	7	Pt. Lot 3	0.91	0.91	0.368	Nina Civitarese & Daniel Bouliane	\$ 57.00	\$ 21.00	\$ 78.00
57	500-01500	7	Pt. Lot 2	4.99	4.99	2.019	Douglas & Andrea Pisciotto	\$ 272.00	\$ 65.00	\$ 337.00
59	500-01610	7	Pt. Lot 2	0.57	0.57	0.231	Ruth Battersby	\$ 36.00	\$ 9.00	\$ 45.00
60	500-01700	7	Pt. Lot 2	0.34	0.34	0.138	Dale & Betty Steed	\$ 21.00	\$ 8.00	\$ 29.00
62	500-01900	7	Pt. Lot 1	1.00	1.00	0.405	Michael & Constance Mulholland	\$ 3.00	\$ 14.00	\$ 17.00
67	500-03400	7	Pt. Lot 7	1.00	1.00	0.405	Kevin Darmon	\$ -	\$ 46.00	\$ 46.00
68	500-03500	7	Pt. Lot 7	2.30	2.30	0.931	James & Diane Ferguson	\$ -	\$ 109.00	\$ 109.00
69	560-00101	STR	Pt. Lot 269	6.73	6.73	2.724	Gary & Laurie Taveirne	\$ -	\$ 173.00	\$ 173.00
70	560-00400	STR	Pt. Lot 267	0.91	0.91	0.368	John & Diane Bachtold	\$ -	\$ 28.00	\$ 28.00
74	560-00800	STR	Pt. Lot 267	0.57	0.57	0.231	Diane Bachtold & Alysa Gould	\$ -	\$ 23.00	\$ 23.00
75	560-00801	STR	Pt. Lot 268	0.86	0.86	0.348	Barbara Van Grinsven	\$ -	\$ 28.00	\$ 28.00
76	560-00890	STR	Pt. Lot 268	1.03	1.03	0.417	Andrea Nikita	\$ -	\$ 28.00	\$ 28.00
80	560-01117	STR	Pt. Lot 269	0.21	0.21	0.085	Neil Arner	\$ -	\$ 9.00	\$ 9.00

**4. PRIVATELY OWNED - NON-AGRICULTURAL LANDS: *Continued***

Parcel ID <u>Number</u>	Tax Roll <u>Number</u>	Con. or Plan <u>Number</u>	Lot or Part <u>of Lot</u>	Acres <u>Owned</u>	Acres <u>Affected</u>	Hectares <u>Affected</u>	Owner's Name	Value of <u>Benefit</u>	Value of <u>Outlet</u>	TOTAL <u>VALUE</u>
81	560-01119	STR	Pt. Lot 269	0.17	0.17	0.069	David Krahm	\$ - \$	9.00 \$	9.00
82	560-01121	STR	Pt. Lot 269	0.17	0.17	0.069	Terry Ramsay & Amy Wiper	\$ - \$	9.00 \$	9.00
83	560-01123	STR	Pt. Lot 269	0.20	0.20	0.081	Heidi & Paul Harnish	\$ - \$	9.00 \$	9.00
84	560-01125	STR	Pt. Lot 269	0.33	0.33	0.134	Cameron & Grace Fast	\$ - \$	12.00 \$	12.00
85	560-01127	STR	Pt. Lot 269	0.34	0.34	0.138	Antonio & Sheila Lopetrone	\$ - \$	13.00 \$	13.00
86	560-01129	STR	Pt. Lot 269	0.19	0.19	0.077	Trevor & Kari Smith	\$ - \$	9.00 \$	9.00
87	560-01131	STR	Pt. Lot 269	0.17	0.17	0.069	Steven & Mckenzee Chortos	\$ - \$	9.00 \$	9.00
88	560-01133	STR	Pt. Lot 269	0.17	0.17	0.069	Jason Clark & Amanda Middleton	\$ - \$	9.00 \$	9.00
89	560-01135	STR	Pt. Lot 269	0.21	0.21	0.085	Michael & Tina O'Connor	\$ - \$	10.00 \$	10.00
90	560-01137	STR	Pt. Lot 269	0.21	0.21	0.085	Eric & Amanda Noel	\$ - \$	10.00 \$	10.00
91	560-01200	STR	Pt. Lot 269	0.17	0.17	0.069	Wilhelm & Jessica Loewen	\$ - \$	9.00 \$	9.00
93	560-01234	STR	Pt. Lot 269	0.21	0.21	0.085	Carlos Correa & Gloria Arango	\$ - \$	10.00 \$	10.00
94	560-01236	STR	Pt. Lot 269	0.18	0.18	0.073	Benjamin & Melissa Fischer	\$ - \$	10.00 \$	10.00
95	560-01238	STR	Pt. Lot 269	0.17	0.17	0.069	Brian & Sharon Birch	\$ - \$	9.00 \$	9.00
96	560-01240	STR	Pt. Lot 269	0.28	0.28	0.113	Alexander & Jamesina Keeney	\$ - \$	13.00 \$	13.00
97	560-01242	STR	Pt. Lot 269	0.26	0.26	0.105	David & Toni Curtis	\$ - \$	11.00 \$	11.00
98	560-01244	STR	Pt. Lot 269	0.31	0.31	0.125	Nancy Garraway & John Etue	\$ - \$	12.00 \$	12.00
99	560-01246	STR	Pt. Lot 269	0.16	0.16	0.065	Al Langstaff	\$ - \$	9.00 \$	9.00
100	560-01248	STR	Pt. Lot 269	0.17	0.17	0.069	Maninder Brar & Prabjheet Kaur	\$ - \$	9.00 \$	9.00
101	560-01249	STR	Pt. Lot 269	0.21	0.21	0.085	Virginia Deman & The Canada Trust Company	\$ - \$	10.00 \$	10.00
102	560-01252	STR	Pt. Lot 269	0.18	0.18	0.073	Connie Bilton	\$ - \$	10.00 \$	10.00
103	560-01254	STR	Pt. Lot 269	0.17	0.17	0.069	Michael & Rita Beaule	\$ - \$	9.00 \$	9.00
104	560-01256	STR	Pt. Lot 269	0.17	0.17	0.069	Keith Cullin	\$ - \$	9.00 \$	9.00
105	560-01258	STR	Pt. Lot 269	0.22	0.22	0.089	Brian Mitchell & Jane Harley	\$ - \$	12.00 \$	12.00
106	560-01260	STR	Pt. Lot 269	0.26	0.26	0.105	Mario & Sonia Mendes	\$ - \$	11.00 \$	11.00
107	560-01262	STR	Pt. Lot 269	0.28	0.28	0.113	Fredy & Corin Menjivar	\$ - \$	13.00 \$	13.00
108	560-01264	STR	Pt. Lot 269	0.22	0.22	0.089	Douglas Dalpe	\$ - \$	12.00 \$	12.00
109	560-01266	STR	Pt. Lot 269	0.17	0.17	0.069	Santino Viselli & Megan Manchester	\$ - \$	9.00 \$	9.00
110	560-01268	STR	Pt. Lot 269	0.17	0.17	0.069	Irene Stewart	\$ - \$	9.00 \$	9.00
111	560-01270	STR	Pt. Lot 269	0.18	0.18	0.073	Joseph & Lindsay Iatonna	\$ - \$	10.00 \$	10.00
112	560-01310	STR	Pt. Lot 269	0.17	0.17	0.069	Christopher South & Maegan Ferranti	\$ - \$	9.00 \$	9.00
113	560-01312	STR	Pt. Lot 269	0.17	0.17	0.069	Justin & Sarah Snelgrove	\$ - \$	9.00 \$	9.00
114	560-01314	STR	Pt. Lot 269	0.20	0.20	0.081	Crystal Hudon & Michael Bondy	\$ - \$	9.00 \$	9.00

**4. PRIVATELY OWNED - NON-AGRICULTURAL LANDS: *Continued***

Parcel ID <u>Number</u>	Tax Roll <u>Number</u>	Con. or Plan <u>Number</u>	Lot or Part <u>of Lot</u>	Acres <u>Owned</u>	Acres <u>Affected</u>	Hectares <u>Affected</u>	<u>Owner's Name</u>	Value of <u>Benefit</u>	Value of <u>Outlet</u>	TOTAL <u>VALUE</u>
115	560-01316	STR	Pt. Lot 269	0.22	0.22	0.089	Tyler & Patricia Driedger	\$ -	\$ 10.00	\$ 10.00
116	560-01318	STR	Pt. Lot 269	0.15	0.15	0.061	Edward & Brenda Ryall	\$ -	\$ 13.00	\$ 13.00
117	560-01320	STR	Pt. Lot 269	0.16	0.16	0.065	James & Nicole Bradley	\$ -	\$ 9.00	\$ 9.00
118	560-01322	STR	Pt. Lot 269	0.21	0.21	0.085	Kevin Anderson & Michele Lowe	\$ -	\$ 9.00	\$ 9.00
119	560-01324	STR	Pt. Lot 269	0.20	0.20	0.081	Roger Desramaux & Megan Watson	\$ -	\$ 9.00	\$ 9.00
120	560-01326	STR	Pt. Lot 269	0.20	0.20	0.081	Bker & Zelia Abdulkader	\$ -	\$ 9.00	\$ 9.00
121	560-01328	STR	Pt. Lot 269	0.19	0.19	0.077	Peter Millar & Jaclyn Garant	\$ -	\$ 9.00	\$ 9.00
122	560-01330	STR	Pt. Lot 269	0.12	0.12	0.049	Cottam Solar Limited	\$ -	\$ 6.00	\$ 6.00
123	560-01334	STR	Pt. Lot 269	0.19	0.19	0.077	Cottam Solar Limited	\$ -	\$ 9.00	\$ 9.00
124	560-01336	STR	Pt. Lot 269	0.21	0.21	0.085	Cottam Solar Limited	\$ -	\$ 10.00	\$ 10.00
125	560-01338	STR	Pt. Lot 269	0.21	0.21	0.085	Cottam Solar Limited	\$ -	\$ 10.00	\$ 10.00
126	560-01340	STR	Pt. Lot 269	0.19	0.19	0.077	Cottam Solar Limited	\$ -	\$ 9.00	\$ 9.00
127	560-01342	STR	Pt. Lot 269	0.18	0.18	0.073	Cottam Solar Limited	\$ -	\$ 9.00	\$ 9.00
128	560-01343	STR	Pt. Lot 269	0.06	0.06	0.024	Cottam Solar Limited	\$ -	\$ 3.00	\$ 3.00
129	560-01344	STR	Pt. Lot 269	0.22	0.22	0.089	Cottam Solar Limited	\$ -	\$ 11.00	\$ 11.00
130	560-01345	STR	Pt. Lot 269	0.30	0.30	0.121	Cottam Solar Limited	\$ -	\$ 14.00	\$ 14.00
131	560-01346	STR	Pt. Lot 269	0.19	0.19	0.077	Cottam Solar Limited	\$ -	\$ 9.00	\$ 9.00
132	560-01348	STR	Pt. Lot 269	0.21	0.21	0.085	Cottam Solar Limited	\$ -	\$ 10.00	\$ 10.00
133	560-01350	STR	Pt. Lot 269	0.31	0.31	0.125	Cottam Solar Limited	\$ -	\$ 15.00	\$ 15.00
134	560-01352	STR	Pt. Lot 269	0.34	0.34	0.138	Cottam Solar Limited	\$ -	\$ 16.00	\$ 16.00
135	560-01354	STR	Pt. Lot 269	0.27	0.27	0.109	Cottam Solar Limited	\$ -	\$ 13.00	\$ 13.00
136	560-01356	STR	Pt. Lot 269	0.21	0.21	0.085	Cottam Solar Limited	\$ -	\$ 10.00	\$ 10.00
137	560-01358	STR	Pt. Lot 269	0.25	0.25	0.101	Cottam Solar Limited	\$ -	\$ 12.00	\$ 12.00
138	560-01360	STR	Pt. Lot 269	0.20	0.20	0.081	Cottam Solar Limited	\$ -	\$ 10.00	\$ 10.00
139	560-01362	STR	Pt. Lot 269	0.18	0.18	0.073	Cottam Solar Limited	\$ -	\$ 9.00	\$ 9.00
140	560-01364	STR	Pt. Lot 269	0.18	0.18	0.073	Cottam Solar Limited	\$ -	\$ 9.00	\$ 9.00
141	560-01366	STR	Pt. Lot 269	0.18	0.18	0.073	Cottam Solar Limited	\$ -	\$ 9.00	\$ 9.00
142	560-01368	STR	Pt. Lot 269	0.19	0.19	0.077	Cottam Solar Limited	\$ -	\$ 9.00	\$ 9.00
143	560-01370	STR	Pt. Lot 269	0.19	0.19	0.077	Cottam Solar Limited	\$ -	\$ 9.00	\$ 9.00
144	560-01372	STR	Pt. Lot 269	0.20	0.20	0.081	Christian Fairey & Hailee Mathies	\$ -	\$ 9.00	\$ 9.00
145	560-01374	STR	Pt. Lot 269	0.18	0.18	0.073	Mary Chapman & Wayne Roy	\$ -	\$ 10.00	\$ 10.00
146	560-01376	STR	Pt. Lot 269	0.18	0.18	0.073	Amy & Robert Purdy	\$ -	\$ 10.00	\$ 10.00
147	560-01378	STR	Pt. Lot 269	0.18	0.18	0.073	Anthony & Sarah Querin	\$ -	\$ 10.00	\$ 10.00

**4. PRIVATELY OWNED - NON-AGRICULTURAL LANDS: *Continued***

Parcel ID <u>Number</u>	Tax Roll <u>Number</u>	Con. or Plan <u>Number</u>	Lot or Part <u>of Lot</u>	Acres <u>Owned</u>	Acres <u>Affected</u>	Hectares <u>Affected</u>	Owner's Name	Value of <u>Benefit</u>	Value of <u>Outlet</u>	TOTAL <u>VALUE</u>
148	560-01380	STR	Pt. Lot 269	0.18	0.18	0.073	Norman Davison & Stephen Laurie	\$ -	\$ 10.00	\$ 10.00
149	560-01382	STR	Pt. Lot 269	0.20	0.20	0.081	Danielle Oles	\$ -	\$ 9.00	\$ 9.00
150	560-02390	STR	Pt. Lot 269	0.17	0.17	0.069	Randy & Lori Duhig	\$ -	\$ 9.00	\$ 9.00
151	560-02400	STR	Pt. Lot 269	0.17	0.17	0.069	Allan & Laura Gagne	\$ -	\$ 9.00	\$ 9.00
152	560-02401	M100	Lot 25	0.34	0.34	0.138	Curtis Bishop	\$ -	\$ 13.00	\$ 13.00
153	560-02402	M100	Lot 24	0.30	0.30	0.121	Wanda Hayes	\$ -	\$ 11.00	\$ 11.00
154	560-02403	M100	Lot 23	0.28	0.28	0.113	Ivan Dets	\$ -	\$ 13.00	\$ 13.00
155	560-02404	M100	Lot 22	0.24	0.24	0.097	Ronald & Debra Mitchell	\$ -	\$ 8.00	\$ 8.00
156	560-02405	M100	Lot 21	0.17	0.17	0.069	Daniel Stanley	\$ -	\$ 9.00	\$ 9.00
157	560-02406	M100	Lot 20	0.19	0.19	0.077	Francesco Incitti & Sofia Montgomery	\$ -	\$ 9.00	\$ 9.00
158	560-02407	M100	Lot 19	0.18	0.18	0.073	John & Krista Armaly	\$ -	\$ 10.00	\$ 10.00
159	560-02408	M100	Lot 18	0.18	0.18	0.073	Shelley Schraeder	\$ -	\$ 10.00	\$ 10.00
160	560-02409	M100	Lot 17	0.17	0.17	0.069	Daniel & Twyla St.Louis	\$ -	\$ 9.00	\$ 9.00
161	560-02410	M100	Lot 16	0.17	0.17	0.069	Florin Serbanescu	\$ -	\$ 9.00	\$ 9.00
162	560-02411	M100	Lot 15	0.17	0.17	0.069	James & Cheryl Sagaert	\$ -	\$ 9.00	\$ 9.00
163	560-02412	M100	Lot 28	0.22	0.22	0.089	Neil & Barbara Banman	\$ -	\$ 10.00	\$ 10.00
164	560-02413	M100	Lot 29	0.22	0.22	0.089	Joseph & Susan Schembri	\$ -	\$ 10.00	\$ 10.00
165	560-02416	M100	Lot 32	0.18	0.18	0.073	Ian & Janet Williams	\$ -	\$ 10.00	\$ 10.00
166	560-02417	M100	Lot 33	0.18	0.18	0.073	Anthony Esposito	\$ -	\$ 10.00	\$ 10.00
167	560-02418	M100	Lot 34	0.18	0.18	0.073	Richard & Brenda Summerfield	\$ -	\$ 10.00	\$ 10.00
168	560-02419	M100	Lot 35	0.18	0.18	0.073	Mary Squance	\$ -	\$ 10.00	\$ 10.00
169	560-02420	M100	Lot 36	0.18	0.18	0.073	Carol Montello	\$ -	\$ 10.00	\$ 10.00
170	560-02421	M100	Lot 37	0.18	0.18	0.073	James & Ginger Bogdon	\$ -	\$ 10.00	\$ 10.00
171	560-02422	M100	Lot 38	0.18	0.18	0.073	John & Bonnie Marn	\$ -	\$ 10.00	\$ 10.00
172	560-02423	M100	Lot 14	0.19	0.19	0.077	Johan & Sarah Wiebe	\$ -	\$ 9.00	\$ 9.00
173	560-02424	M100	Lot 13	0.17	0.17	0.069	Joseph Foley & Volha Baranava	\$ -	\$ 9.00	\$ 9.00
174	560-02425	M100	Lot 12	0.17	0.17	0.069	Rojina & Ruth Veeresar	\$ -	\$ 9.00	\$ 9.00
175	560-02426	M100	Lot 11	0.17	0.17	0.069	David & Karen Middleton	\$ -	\$ 9.00	\$ 9.00
176	560-02427	M100	Lot 10	0.17	0.17	0.069	Timothy & Jennine Meloche	\$ -	\$ 9.00	\$ 9.00
177	560-02428	M100	Lot 9	0.17	0.17	0.069	Jason & Sherri Dutot	\$ -	\$ 9.00	\$ 9.00
178	560-02429	M100	Lot 8	0.19	0.19	0.077	Ralph & Veronica Devries	\$ -	\$ 9.00	\$ 9.00
179	560-02430	M100	Lot 7	0.17	0.17	0.069	Donald & Mary Bryant	\$ -	\$ 9.00	\$ 9.00
180	560-02431	M100	Lot 6	0.20	0.20	0.081	David Pereira & Kathleen Dennison	\$ -	\$ 9.00	\$ 9.00

**4. PRIVATELY OWNED - NON-AGRICULTURAL LANDS: *Continued***

Parcel ID <u>Number</u>	Tax Roll <u>Number</u>	Con. or Plan <u>Number</u>	Lot or Part <u>of Lot</u>	Acres <u>Owned</u>	Acres <u>Affected</u>	Hectares <u>Affected</u>	<u>Owner's Name</u>	Value of <u>Benefit</u>	Value of <u>Outlet</u>	TOTAL <u>VALUE</u>
181	560-02432	M100	Lot 5	0.18	0.18	0.073	Becky & Corey Coussens	\$ -	\$ 10.00	\$ 10.00
182	560-02433	M100	Lot 4	0.18	0.18	0.073	Shannon Dalgleish & Robert Scott	\$ -	\$ 10.00	\$ 10.00
183	560-02434	M100	Lot 3	0.18	0.18	0.073	Timothy & Sherry Rudge	\$ -	\$ 10.00	\$ 10.00
184	560-02435	M100	Lot 2	0.21	0.21	0.085	Cornelio & Anna Fehr	\$ -	\$ 9.00	\$ 9.00
185	560-02436	STR	Pt. Lot 269	0.21	0.21	0.085	Jake Fehr	\$ -	\$ 9.00	\$ 9.00
186	560-02437	STR	Pt. Lot 269	0.17	0.17	0.069	David Barwick & Angela Mulcaster-Boer	\$ -	\$ 9.00	\$ 9.00
187	560-02438	STR	Pt. Lot 269	0.17	0.17	0.069	Steven Moon & Gail Donais	\$ -	\$ 9.00	\$ 9.00
188	560-02439	STR	Pt. Lot 269	0.17	0.17	0.069	Gerald & Tammy Poirier	\$ -	\$ 9.00	\$ 9.00
189	560-02440	STR	Pt. Lot 269	0.17	0.17	0.069	Jeffrey & Amanda Ferreira	\$ -	\$ 9.00	\$ 9.00
190	560-02441	STR	Pt. Lot 269	0.21	0.21	0.085	Steven & Cynthia Ghikadis	\$ -	\$ 9.00	\$ 9.00
191	560-02442	STR	Pt. Lot 269	0.20	0.20	0.081	William & Sarah Smith	\$ -	\$ 9.00	\$ 9.00
192	560-02443	STR	Pt. Lot 269	0.19	0.19	0.077	Robert & Shannon Belleau	\$ -	\$ 9.00	\$ 9.00
193	560-02444	STR	Pt. Lot 269	0.19	0.19	0.077	Daniel & Shelby Wilkins	\$ -	\$ 9.00	\$ 9.00
194	560-02445	STR	Pt. Lot 269	0.19	0.19	0.077	Chad Gray	\$ -	\$ 9.00	\$ 9.00
195	560-02446	STR	Pt. Lot 269	0.19	0.19	0.077	Gary & Patricia Bain	\$ -	\$ 9.00	\$ 9.00
196	560-02447	STR	Pt. Lot 269	0.19	0.19	0.077	Herbert Bernhardt & Kathleen Sauter	\$ -	\$ 9.00	\$ 9.00
197	560-02448	STR	Pt. Lot 269	0.19	0.19	0.077	Douglas & Ann Sabga	\$ -	\$ 9.00	\$ 9.00
198	560-02449	STR	Pt. Lot 269	0.19	0.19	0.077	Jacob Hildebrant & Helen Boldt	\$ -	\$ 9.00	\$ 9.00
199	560-02450	STR	Pt. Lot 269	0.19	0.19	0.077	David & Sabrina Green	\$ -	\$ 9.00	\$ 9.00
200	560-02451	STR	Pt. Lot 269	0.20	0.20	0.081	Kyle Sayers	\$ -	\$ 9.00	\$ 9.00
201	560-02452	STR	Pt. Lot 269	0.21	0.21	0.085	Gregory Anger & Samantha Tofflemire	\$ -	\$ 9.00	\$ 9.00
202	560-02453	STR	Pt. Lot 269	0.21	0.21	0.085	Wayne & Ellen Hyland	\$ -	\$ 9.00	\$ 9.00
203	560-02454	STR	Pt. Lot 269	0.20	0.20	0.081	Charles & Jennifer Tilden	\$ -	\$ 9.00	\$ 9.00
204	560-02455	STR	Pt. Lot 269	0.20	0.20	0.081	Faye St. Pierre	\$ -	\$ 9.00	\$ 9.00
205	560-02456	STR	Pt. Lot 269	0.20	0.20	0.081	Dave & Sue Maedel	\$ -	\$ 9.00	\$ 9.00
206	560-02457	STR	Pt. Lot 269	0.20	0.20	0.081	Roger Mercer & Luwana Mealing-Mercer	\$ -	\$ 9.00	\$ 9.00
207	560-02458	STR	Pt. Lot 269	0.20	0.20	0.081	Robert & Laura Kapetanov	\$ -	\$ 9.00	\$ 9.00
208	560-02459	STR	Pt. Lot 269	0.20	0.20	0.081	Ismael Oozeer & Bodeha Booze-Oozeer	\$ -	\$ 9.00	\$ 9.00
209	560-02460	STR	Pt. Lot 269	0.24	0.24	0.097	Patrick & Debra Brophy	\$ -	\$ 8.00	\$ 8.00
210	560-02461	STR	Pt. Lot 269	0.34	0.34	0.138	Harry & Bonnie Terzopoulos	\$ -	\$ 13.00	\$ 13.00
211	560-02462	STR	Pt. Lot 269	0.18	0.18	0.073	Dean & Sandra Pearson	\$ -	\$ 10.00	\$ 10.00
212	560-02463	STR	Pt. Lot 269	0.23	0.23	0.093	Keith & Elizabeth Cornell	\$ -	\$ 8.00	\$ 8.00
213	560-02464	STR	Pt. Lot 269	0.17	0.17	0.069	Joshua & Michelle Weeks	\$ -	\$ 9.00	\$ 9.00

**4. PRIVATELY OWNED - NON-AGRICULTURAL LANDS: *Continued***

Parcel ID <u>Number</u>	Tax Roll <u>Number</u>	Con. or Plan <u>Number</u>	Lot or Part <u>of Lot</u>	Acres <u>Owned</u>	Acres <u>Affected</u>	Hectares <u>Affected</u>	Owner's Name	Value of <u>Benefit</u>	Value of <u>Outlet</u>	TOTAL <u>VALUE</u>
214	560-02465	STR	Pt. Lot 269	0.17	0.17	0.069	Victoria Davison & John Hunter	\$ -	\$ 9.00	\$ 9.00
215	560-02466	STR	Pt. Lot 269	0.20	0.20	0.081	Shawn & Angie Couvillon	\$ -	\$ 9.00	\$ 9.00
216	560-02467	STR	Pt. Lot 269	0.24	0.24	0.097	Donald & Kailyn Neal	\$ -	\$ 8.00	\$ 8.00
217	560-02468	STR	Pt. Lot 269	0.24	0.24	0.097	Michael Richmond & Andrea Balkwill	\$ -	\$ 8.00	\$ 8.00
218	560-02469	STR	Pt. Lot 269	0.24	0.24	0.097	Dwane & Suzanne Osborne	\$ -	\$ 8.00	\$ 8.00
219	560-02470	STR	Pt. Lot 269	0.17	0.17	0.069	Brian Cinat & Karlea Beresh	\$ -	\$ 9.00	\$ 9.00
220	560-02471	STR	Pt. Lot 269	0.18	0.18	0.073	Glenn & Karen Quinlan	\$ -	\$ 10.00	\$ 10.00
221	560-02472	STR	Pt. Lot 269	0.18	0.18	0.073	Florence Rivest	\$ -	\$ 10.00	\$ 10.00
222	560-02473	STR	Pt. Lot 269	0.19	0.19	0.077	Dina Pantoja & Oscar Molina	\$ -	\$ 9.00	\$ 9.00
223	560-02474	STR	Pt. Lot 269	0.19	0.19	0.077	August & Lorrie Hoekstra	\$ -	\$ 9.00	\$ 9.00
224	560-02475	STR	Pt. Lot 269	0.19	0.19	0.077	Dennis & Catherine Dugdale	\$ -	\$ 9.00	\$ 9.00
225	560-02476	STR	Pt. Lot 269	0.19	0.19	0.077	Karen Allen	\$ -	\$ 9.00	\$ 9.00
226	560-02477	STR	Pt. Lot 269	0.19	0.19	0.077	Timothy Kelly & Shannon Dubai-Kelly	\$ -	\$ 9.00	\$ 9.00
227	560-02478	STR	Pt. Lot 269	0.19	0.19	0.077	Brandon Sonoski & Shania Taylor	\$ -	\$ 9.00	\$ 9.00
228	560-02479	STR	Pt. Lot 269	0.19	0.19	0.077	Jason & Andrea Powell	\$ -	\$ 9.00	\$ 9.00
229	560-02480	STR	Pt. Lot 269	0.19	0.19	0.077	Tarcisio & Mary-Jo Morassut	\$ -	\$ 9.00	\$ 9.00
230	560-02481	STR	Pt. Lot 269	0.19	0.19	0.077	Salvatore Peralta & Carlee Fleming	\$ -	\$ 9.00	\$ 9.00
231	560-02482	STR	Pt. Lot 269	0.19	0.19	0.077	Robert & Annette Gabriele	\$ -	\$ 9.00	\$ 9.00
232	560-02483	STR	Pt. Lot 269	0.25	0.25	0.101	Linda Fick & Nancy Kujawski	\$ -	\$ 9.00	\$ 9.00
233	560-02484	STR	Pt. Lot 269	0.22	0.22	0.089	Denis Sterling	\$ -	\$ 10.00	\$ 10.00
234	560-02485	STR	Pt. Lot 269	0.20	0.20	0.081	Jacob & Helena Froese	\$ -	\$ 9.00	\$ 9.00
235	560-02486	STR	Pt. Lot 269	0.20	0.20	0.081	Steven & Diane Doyle	\$ -	\$ 9.00	\$ 9.00
236	560-02487	STR	Pt. Lot 269	0.20	0.20	0.081	Derek & Diane Cameron	\$ -	\$ 9.00	\$ 9.00
237	560-02488	STR	Pt. Lot 269	0.18	0.18	0.073	Cindy Mills	\$ -	\$ 10.00	\$ 10.00
238	560-02489	STR	Pt. Lot 269	0.18	0.18	0.073	Mark & Tammy Clifford	\$ -	\$ 10.00	\$ 10.00
239	560-02490	STR	Pt. Lot 269	0.18	0.18	0.073	Joseph & Helga Bondy	\$ -	\$ 10.00	\$ 10.00
240	560-02491	STR	Pt. Lot 269	0.18	0.18	0.073	Richard Ferrato	\$ -	\$ 10.00	\$ 10.00
241	560-02492	STR	Pt. Lot 269	0.20	0.20	0.081	Randy & Tracey Baillargeon	\$ -	\$ 9.00	\$ 9.00
242	560-02493	STR	Pt. Lot 269	0.19	0.19	0.077	Robert & Julie Wilson	\$ -	\$ 9.00	\$ 9.00
243	560-02494	STR	Pt. Lot 269	0.19	0.19	0.077	Daniel & Melissa Langis	\$ -	\$ 9.00	\$ 9.00
244	560-02495	STR	Pt. Lot 269	0.19	0.19	0.077	David & Irene Doody	\$ -	\$ 9.00	\$ 9.00
245	560-02496	STR	Pt. Lot 269	0.19	0.19	0.077	William & Natalie Simon	\$ -	\$ 9.00	\$ 9.00
246	560-02497	STR	Pt. Lot 269	0.22	0.22	0.089	Craig & Jennifer Newman	\$ -	\$ 10.00	\$ 10.00

**4. PRIVATELY OWNED - NON-AGRICULTURAL LANDS: *Continued***

Parcel ID <u>Number</u>	Tax Roll <u>Number</u>	Con. or Plan <u>Number</u>	Lot or Part <u>of Lot</u>	Acres <u>Owned</u>	Acres <u>Affected</u>	Hectares <u>Affected</u>	<u>Owner's Name</u>	Value of <u>Benefit</u>	Value of <u>Outlet</u>	TOTAL <u>VALUE</u>
247	560-02498	STR	Pt. Lot 269	0.29	0.29	0.117	Lizabeth Matte	\$ -	\$ 14.00	\$ 14.00
248	560-02499	STR	Pt. Lot 269	0.17	0.17	0.069	Richard Dunn	\$ -	\$ 9.00	\$ 9.00
249	560-02500	M100	Lot 1	0.36	0.36	0.146	William & Cheryl Carmichael	\$ -	\$ 14.00	\$ 14.00
250	560-02501	STR	Pt. Lot 269	0.19	0.19	0.077	Derek & Kristen Freeman	\$ -	\$ 9.00	\$ 9.00
251	560-02503	STR	Pt. Lot 269	0.17	0.17	0.069	Dean & Patricia Dame	\$ -	\$ 9.00	\$ 9.00
252	560-02504	STR	Pt. Lot 269	0.17	0.17	0.069	Arthur Delaney	\$ -	\$ 9.00	\$ 9.00
253	560-02505	STR	Pt. Lot 269	0.17	0.17	0.069	Ted & Carleen Hunter	\$ -	\$ 9.00	\$ 9.00
254	560-02506	STR	Pt. Lot 269	0.17	0.17	0.069	Brian & Lynn Higgins	\$ -	\$ 9.00	\$ 9.00
255	560-02507	STR	Pt. Lot 269	0.17	0.17	0.069	Coreen Sykes & Paul Epp	\$ -	\$ 9.00	\$ 9.00
256	560-02508	STR	Pt. Lot 269	0.17	0.17	0.069	Christopher & Mallory Branov	\$ -	\$ 9.00	\$ 9.00
257	560-02509	STR	Pt. Lot 269	0.17	0.17	0.069	Andy & Christine Faraci	\$ -	\$ 9.00	\$ 9.00
258	560-02510	STR	Pt. Lot 269	0.17	0.17	0.069	Margaret Mccord	\$ -	\$ 9.00	\$ 9.00
259	560-02511	STR	Pt. Lot 269	0.17	0.17	0.069	Erin Livingston	\$ -	\$ 9.00	\$ 9.00
260	560-02512	STR	Pt. Lot 269	0.17	0.17	0.069	Ronan & Melanie Oliver	\$ -	\$ 9.00	\$ 9.00
261	560-02513	STR	Pt. Lot 269	0.17	0.17	0.069	John & Carol Quinn	\$ -	\$ 9.00	\$ 9.00
262	560-02600	TRS	Pt. Lot 269	0.49	0.49	0.198	Ricky & Brenda Garant	\$ -	\$ 17.00	\$ 17.00
263	560-02601	STR	Pt. Lot 269	0.35	0.35	0.142	Kenneth & Rosemary Roadhouse	\$ -	\$ 14.00	\$ 14.00
264	560-02620	STR	Pt. Lot 269	0.39	0.39	0.158	Maria Klaas	\$ -	\$ 10.00	\$ 10.00
266	560-02660	STR	Pt. Lot 269	2.07	2.07	0.838	Town of Kingsville	\$ -	\$ 51.00	\$ 51.00
267	560-02700	STR	Pt. Lot 269	0.64	0.64	0.259	Gary & Maria Klaas	\$ -	\$ 19.00	\$ 19.00
269	560-02900	TRS	Pt. Lot 269	0.54	0.54	0.219	David Parise & Ryan McLeod	\$ -	\$ 25.00	\$ 25.00
270	560-02901	STR	Pt. Lot 268	0.46	0.46	0.186	Essex County Community Living	\$ -	\$ 19.00	\$ 19.00
271	560-02902	STR	Pt. Lot 268	0.46	0.46	0.186	John & Michelle Ivanisko	\$ -	\$ 20.00	\$ 20.00
273	560-03001	STR	Pt. Lot 268	0.83	0.83	0.336	Dennis Mostoway & Dawn Reaume	\$ -	\$ 28.00	\$ 28.00
274	560-03100	STR	Pt. Lot 268	1.00	1.00	0.405	Mark Voligny & Michelle Winger	\$ -	\$ 33.00	\$ 33.00
275	560-03101	STR	Pt. Lot 268	0.69	0.69	0.279	Preston Harris & Germaine Gould	\$ -	\$ 30.00	\$ 30.00
277	560-03300	STR	Pt. Lot 268	1.89	1.89	0.765	Beverley & Kristine Iles	\$ -	\$ 53.00	\$ 53.00
278	560-03350	STR	Pt. Lot 268	0.46	0.46	0.186	Pedro & Aganetha Dyck	\$ -	\$ 16.00	\$ 16.00
282	560-03520	STR	Lot 268	1.24	1.24	0.502	Nicholas & Erin Hayes	\$ -	\$ 36.00	\$ 36.00
285	560-03800	STR	Pt. Lot 267	0.48	0.48	0.194	Peter & Elizabeth Peters	\$ -	\$ 18.00	\$ 18.00

**4. PRIVATELY OWNED - NON-AGRICULTURAL LANDS: *Continued***

<u>Parcel ID Number</u>	<u>Tax Roll Number</u>	<u>Con. or Plan Number</u>	<u>Lot or Part of Lot</u>	<u>Acres Owned</u>	<u>Acres Affected</u>	<u>Hectares Affected</u>	<u>Owner's Name</u>	<u>Value of Benefit</u>	<u>Value of Outlet</u>	<u>TOTAL VALUE</u>
286	560-03900	TRS	Pt. Lot 267	0.42	0.42	0.170	Cody Haynes	\$ -	\$ 16.00	\$ 16.00
288	560-04100	STR	Pt. Lot 267	0.75	0.75	0.304	Rita & Ralph Wigle	\$ -	\$ 23.00	\$ 23.00
<b>Total on Privately Owned - Non-Agricultural Lands.....</b>								<b>\$ 1,614.00</b>	<b>\$ 3,465.00</b>	<b>\$ 5,079.00</b>

**5. PRIVATELY OWNED - AGRICULTURAL LANDS (grantable):**

<u>Parcel ID Number</u>	<u>Tax Roll Number</u>	<u>Con. or Plan Number</u>	<u>Lot or Part of Lot</u>	<u>Acres Owned</u>	<u>Acres Affected</u>	<u>Hectares Affected</u>	<u>Owner's Name</u>	<u>Value of Benefit</u>	<u>Value of Outlet</u>	<u>TOTAL VALUE</u>
1	460-00700	6	Pt. Lot 1	50.00	25.00	10.117	Andre & Colette Cazabon	\$ 237.00	\$ 89.00	\$ 326.00
3	460-00702	6	Pt. Lot 1	49.03	49.03	19.842	Richard & Donna Valenciuk	\$ 902.00	\$ 188.00	\$ 1,090.00
4	460-00800	6	Pt. Lot 2	47.29	32.29	13.068	Burstyn Farms Ltd.	\$ 280.00	\$ 100.00	\$ 380.00
7	460-00900	6	Pt. Lot 2	48.20	33.20	13.436	Matthew Hyland	\$ 310.00	\$ 103.00	\$ 413.00
10	460-01000	6	Pt. Lot 3	99.54	14.54	5.884	Stephen Ferguson	\$ 323.00	\$ 152.00	\$ 475.00
12	460-01200	6	Pt. Lot 4	49.60	20.10	8.134	Joslyne Rizza	\$ 321.00	\$ 210.00	\$ 531.00
14	460-01300	6	Pt. Lot 4	97.91	17.91	7.248	Lawrence & Joseph Miehls	\$ 296.00	\$ 210.00	\$ 506.00
16	460-01400	6	Pt. Lot 5	99.55	19.95	8.074	Ronald & Karen Kendrick	\$ 342.00	\$ 246.00	\$ 588.00
18	460-01504	6	Pt. Lot 5	49.47	8.94	3.618	Edward Ross	\$ 140.00	\$ 112.00	\$ 252.00
20	460-01511	6	Pt. Lot 5	50.58	10.05	4.067	Edward Ross	\$ 173.00	\$ 134.00	\$ 307.00
21	460-01600	6	Pt. Lot 6	98.53	18.53	7.499	Davin & Nicole Kendrick	\$ 313.00	\$ 308.00	\$ 621.00
22	460-01700	6	Pt. Lot 6	49.08	20.00	8.094	Henry Renaud	\$ 344.00	\$ 332.00	\$ 676.00
23	490-00800	6	Pt. Lots 8 & 9	200.00	102.00	41.279	Milton Hillier	\$ -	\$ 942.00	\$ 942.00
24	490-01300	7	Pt. Lot 8	50.00	50.00	20.235	James Ferguson	\$ -	\$ 422.00	\$ 422.00
25	490-01400	7	Pt. Lot 8	40.00	40.00	16.188	James & Diane Ferguson	\$ -	\$ 368.00	\$ 368.00
26	490-01500	7	Pt. Lot 8	62.59	41.00	16.592	Brent & Michelle Ramsay	\$ -	\$ 360.00	\$ 360.00
27	490-01700	7	Pt. Lot 9	54.69	54.69	22.133	Donna & Steven Merritt	\$ -	\$ 461.00	\$ 461.00
28	490-01800	7	Pt. Lots 9 and 10	59.71	59.71	24.164	Donna & Steven Merritt	\$ -	\$ 578.00	\$ 578.00
29	490-01900	6	Pt. Lot 7	97.51	14.00	5.666	Neil & Sharla Ferguson	\$ -	\$ 138.00	\$ 138.00
32	490-02100	6	Pt. Lot 8	66.70	34.70	14.043	Dorothy & Laurence Merritt	\$ -	\$ 355.00	\$ 355.00
33	490-02200	6	Pt. Lot 8	1.37	1.37	0.554	Laurence & Dorothy Merritt	\$ -	\$ 45.00	\$ 45.00
34	490-02300	6	Lot 9 & Pt. Lot 10	103.25	66.25	26.811	Stevan Barisic	\$ -	\$ 704.00	\$ 704.00
35	500-00101	7	Pt. Lot 7	44.73	44.73	18.102	Cottam Radiator Ltd. & James Ferguson	\$ 396.00	\$ 683.00	\$ 1,079.00
37	500-00150	7	Pt. Lot 7	50.59	25.50	10.320	James & Jeannette Sylvestre	\$ 197.00	\$ 380.00	\$ 577.00

**5. PRIVATELY OWNED - AGRICULTURAL LANDS (grantable): *Continued***

Parcel ID <u>Number</u>	Tax Roll <u>Number</u>	Con. or Plan <u>Number</u>	Lot or Part <u>of Lot</u>	Acres <u>Owned</u>	Acres <u>Affected</u>	Hectares <u>Affected</u>	<u>Owner's Name</u>	Value of <u>Benefit</u>	Value of <u>Outlet</u>	TOTAL <u>VALUE</u>
40	500-00250	7	Pt. Lot 7	50.25	24.38	9.866	James Sylvestre	\$ 168.00	\$ 359.00	\$ 527.00
42	500-00400	7	Pt. Lot 6	71.55	50.00	20.235	David & Debbie Alexander	\$ 225.00	\$ 697.00	\$ 922.00
43	500-00500	7	Pt. Lot 6	88.47	88.47	35.803	David & Jason Alexander	\$ 413.00	\$ 1,204.00	\$ 1,617.00
46	500-00700	7	Pt. Lot 5	48.70	48.70	19.709	Richard & Phyllis Barnett	\$ 321.00	\$ 617.00	\$ 938.00
48	500-00900	7	Pt. Lot 5	25.00	25.00	10.117	Michael & Patricia Hamlin	\$ 391.00	\$ 407.00	\$ 798.00
49	500-01000	7	Pt. Lot 4	120.49	86.00	34.804	Robert & Jerry Vriesacker	\$ 761.00	\$ 757.00	\$ 1,518.00
51	500-01100	7	Pt. Lot 3	50.00	50.00	20.235	Brian & Dorene Lester	\$ 388.00	\$ 320.00	\$ 708.00
54	500-01202	7	Pt. Lot 3	46.85	46.85	18.960	Karen & Adam Schmitchen	\$ 275.00	\$ 328.00	\$ 603.00
56	500-01400	7	Pt. Lot 2	45.00	45.00	18.211	Bradley & Ruth Salter	\$ 258.00	\$ 279.00	\$ 537.00
58	500-01600	7	Pt. Lot 2	24.18	24.18	9.786	Sharon & Eric Mulcaster	\$ 171.00	\$ 132.00	\$ 303.00
61	500-01800	7	Pt. Lots 1 & 2	48.00	42.00	16.997	Todd Gee & Kelly Dunn	\$ 378.00	\$ 188.00	\$ 566.00
63	500-02900	7	Pt. Lot 5	74.48	56.50	22.865	Robert & David Alexander	\$ -	\$ 625.00	\$ 625.00
64	500-03000	7	Pt. Lot 5	47.93	28.17	11.400	Donald & Cora Bertram	\$ -	\$ 330.00	\$ 330.00
65	500-03100	7	Pt. Lot 6	34.50	11.00	4.452	Jason & Laura Alexander	\$ -	\$ 143.00	\$ 143.00
66	500-03300	7	Pt. Lot 7	48.98	30.00	12.141	Stekle Farms Limited	\$ -	\$ 466.00	\$ 466.00
71	560-00500	STR	Pt. Lot 267	64.76	34.76	14.067	John & David Bachtold	\$ -	\$ 460.00	\$ 460.00
72	560-00600	STR	Pt. Lot 267	25.10	25.10	10.158	Larry & Tammy Meloche	\$ -	\$ 338.00	\$ 338.00
73	560-00700	STR	Pt. Lot 267	24.50	24.50	9.915	John & David Bachtold	\$ -	\$ 279.00	\$ 279.00
77	560-00900	STR	Pt. Lot 268	50.00	50.00	20.235	Chevalier Farms & Elevator Ltd.	\$ -	\$ 504.00	\$ 504.00
78	560-01000	STR	Pt. Lot 269	90.07	90.07	36.451	Richard & Sharon Kendrick	\$ -	\$ 886.00	\$ 886.00
79	560-01002	STR	Pt. Lot 269	6.98	6.98	2.825	Richard & Sharon Kendrick	\$ -	\$ 64.00	\$ 64.00
268	560-02800	STR	Pt. Lot 269	11.13	11.13	4.504	Jacob & Yola Pretli	\$ -	\$ 166.00	\$ 166.00
276	560-03200	STR	Pt. Lot 268	45.31	45.31	18.337	Margery Macgregor	\$ -	\$ 493.00	\$ 493.00
280	560-03420	STR	Pt. Lot 268	22.23	22.23	8.996	Leo Hayes	\$ -	\$ 253.00	\$ 253.00
281	560-03500	STR	Pt. Lot 268	71.89	71.89	29.093	Charles & Craig Chevalier	\$ -	\$ 750.00	\$ 750.00
284	560-03700	TRS	Pt. Lot 267	25.00	25.00	10.117	George Newman	\$ -	\$ 476.00	\$ 476.00
287	560-04000	STR	Pt. Lot 267	18.50	18.50	7.487	Gerald & Iris Pillon	\$ -	\$ 230.00	\$ 230.00
289	560-04200	STR	Pt. Lot 267	24.24	24.24	9.810	Milka Jezdic	\$ -	\$ 305.00	\$ 305.00
<b>Total on Privately Owned - Agricultural Lands (grantable).....</b>								<b>\$ 8,323.00</b>	<b>\$ 19,676.00</b>	<b>\$ 27,999.00</b>

**5. PRIVATELY OWNED - AGRICULTURAL LANDS (non-grantable):**

Parcel ID <u>Number</u>	Tax Roll <u>Number</u>	Con. or Plan <u>Number</u>	Lot or Part <u>of Lot</u>	Acres <u>Owned</u>	Acres <u>Affected</u>	Hectares <u>Affected</u>	<u>Owner's Name</u>	Value of <u>Benefit</u>		Value of <u>Outlet</u>		<b>TOTAL VALUE</b>
11	460-01100	6	Pt. Lot 3	99.54	14.54	5.88	Marian Maslin	\$	323.00	\$	133.00	\$ 456.00
265	560-02653	STR	Pt. Lot 269	24.25	24.25	9.81	1575742 Ontario Ltd.	\$	-	\$	166.00	\$ 166.00
272	560-03000	STR	Pt. Lot 268	10.01	10.01	4.05	Justin Ireland & Jamie Meunier	\$	-	\$	117.00	\$ 117.00
279	560-03400	STR	Pt. Lot 268	3.38	3.38	1.37	Leo Hayes	\$	-	\$	50.00	\$ 50.00
283	560-03600	STR	Pt. Lot 268	7.25	7.25	2.93	Daniel & Jenny Nantais	\$	-	\$	78.00	\$ 78.00
<b>Total on Privately Owned - Agricultural Lands (non-grantable).....</b>								<b>\$</b>	<b>323.00</b>	<b>\$</b>	<b>544.00</b>	<b>\$ 867.00</b>
<b>TOTAL ASSESSMENT</b>				<b>2179.42</b>	<b>881.998</b>			<b>\$</b>	<b>15,000.00</b>	<b>\$</b>	<b>35,000.00</b>	<b>\$ 50,000.00</b>

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